

# INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE

707 SUNRISE AVE, ROSEVILLE, CALIFORNIA 95661

CITY OF ROSEVILLE FILE #PL25-0356 - INFILL PCL 138 & 305

APN# 470-010-050-000

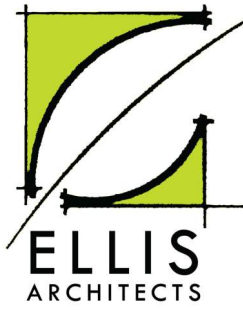
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LETTER TO NEIGHBOR	LETTER TO NEIGHBOR REGARDING PROPERTY USE (1 PAGE) - UPLOADED SEPARATELY
APP RESPONSES	STATEMENT OF DESIGN INTENT & RESPONSES TO APPLICATION COMPLETENESS COMMENTS (2 PAGES) - UPLOADED SEPARATELY



NOTE: RENDERING IS SCHEMATIC IN NATURE AND MAY NOT REPRESENT ALL FINAL PROJECT CONDITIONS CONTAINED IN THE DOCUMENTS

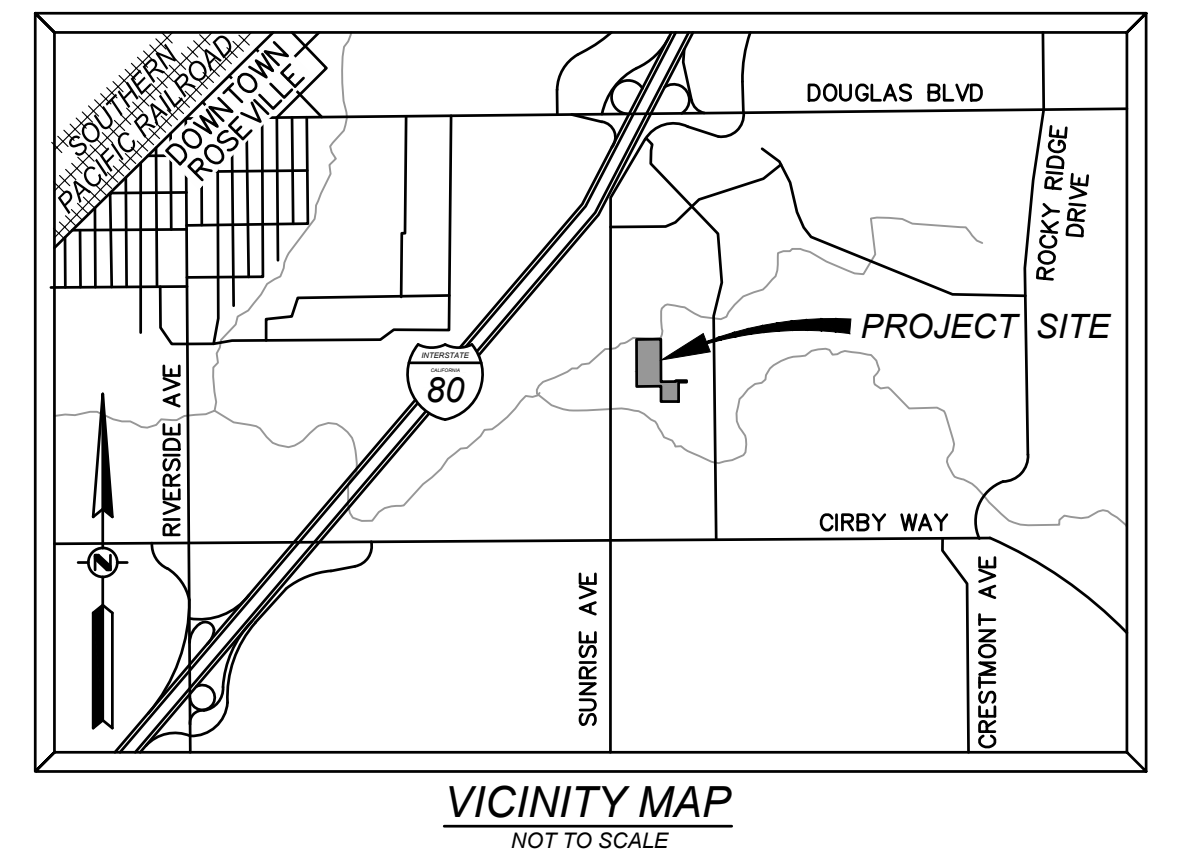
COVER SHEET

 <p><b>ELLIS ARCHITECTS</b> 4132 C STREET SACRAMENTO, CA 95819 916.440.6765 ellis-architects.com</p>	<p><b>INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE</b></p> <p>707 SUNRISE AVE ROSEVILLE, CALIFORNIA 95661</p> <p>APN# 470-010-050-000</p>	<p>OWNER: <b>DINAPOLI CAPITAL PARTNERS</b></p> <p>3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA</p>			02.20.26
					SHEET NO.

# PRELIMINARY SITE IMPROVEMENT PLANS

## FOR TERRACES OF ROSEVILLE

707 SUNRISE AVENUE  
ROSEVILLE, CA 95661  
APN: 470-010-050-000



### SHEET INDEX:

- C1 PRELIMINARY SITE PLAN
- C2 EXISTING CONDITIONS & DEMOLITION PLAN
- C3.1 PRELIMINARY GRADING, DRAINAGE, & PAVING PLAN
- C3.2 PRELIMINARY TYPICAL SITE CROSS SECTIONS
- C4 PRELIMINARY WATER & SANITARY SEWER PLAN
- C5 PRELIMINARY STORMWATER QUALITY CONTROL PLAN

### TOPOGRAPHIC SURVEY:

FIELD SURVEY DATED: 09-18-2024

### BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF TRIMBLE WAY BETWEEN FOUND MONUMENTS AS SHOWN HEREON.

BEING NORTH 00° 07' 46" WEST

### BENCHMARK:

THE BENCHMARK FOR THIS SURVEY IS A FOUND 3 1/4" BRASS DISK STAMPED 2018 PLS 9278, LOCATED AT CIRBY CREEK AND COLOMA WAY, NORTHEAST CORNER OF BRIDGE IN THE BACK OF SIDEWALK, CITY OF ROSEVILLE BENCHMARK NO. 89.

ELEVATION 140.11 FEET (NAVD 88).

### JURISDICTION:

CITY OF ROSEVILLE

### ZONING FOR ALL PARCELS:

EXISTING: R-3 MULTI-FAMILY RESIDENTIAL / FLOODWAY (FW)  
PROPOSED: R-3 MULTI-FAMILY RESIDENTIAL / FLOODWAY (FW) (NO CHANGE)

### FLOOD PLAIN:

THIS PROPERTY IS SUBJECT TO FLOODING AT THE ELEVATION OF 142.00 FEET AND LIES ENTIRELY WITHIN AN AREA HAVING THE ZONE DESIGNATION "AE" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NUMBER 06061C1032H, DATED NOVEMBER 2, 2018, FOR THE COMMUNITY OF ROSEVILLE, PLACER COUNTY, CALIFORNIA, NUMBER 060243 PANEL 1032, SUFFIX "H".

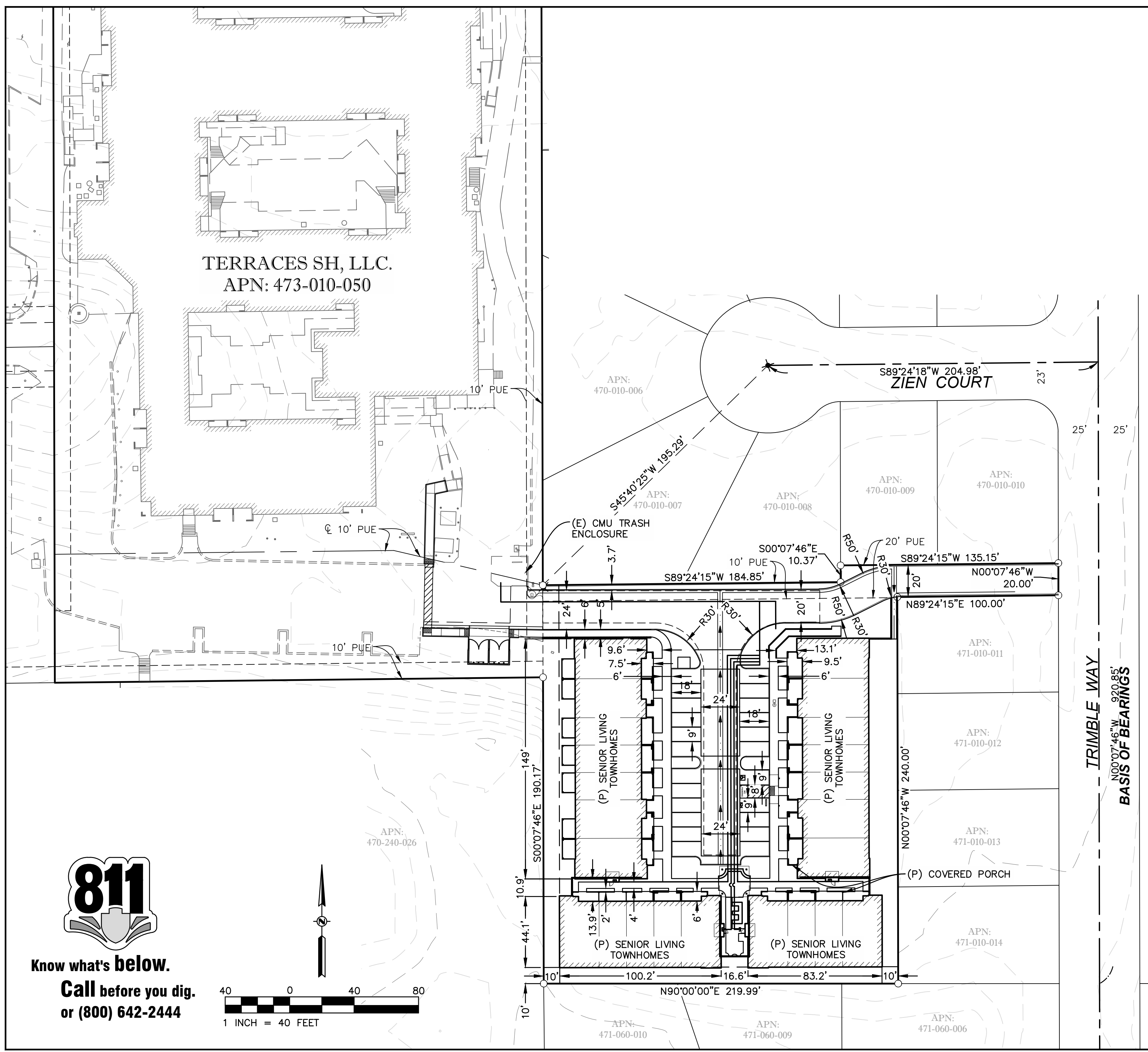
### PROPERTY OWNER / DEVELOPER:

DINAPOLI CAPITAL PARTNERS  
3021 CITRUS CIRCLE, SUITE 130  
WALNUT CREEK, CA 94598

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
ROW	---	---
EASEMENT	---	---
LOT LINE	---	---
CENTERLINE	---	---
SW, CURB & GUTTER	---	---
DITCH / FLOWLINE	---	---
EP	---	---
STORM DRAIN	XX"SD	XX"SD
SANITARY SEWER	XX"SS	XX"SS
WATER LINE	XX"W	XX"W
DOMESTIC WATER	XX"DW	XX"DW
FIRE SERVICE	XX"FS	XX"FS
GAS LINE	XX"C	XX"C
SDMH	⊙	⊙
DRAINAGE INLET	□	□
CULVERT WITH FES	---	---
DIRECTION OF SURFACE FLOW	→	→
OVERLAND RELEASE PATH	→	→
SSMH	⊙	⊙
SSCO	⊙	⊙
FIRE HYDRANT	⊙	⊙
PIV	⊙	⊙
FDC	⊙	⊙
WATER VALVE	⊙	⊙
WATER METER	⊙	⊙
CONCENTRIC REDUCER	⊙	⊙
BACKFLOW PREVENTION ASSEMBLY	⊙	⊙
REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY	⊙	⊙
AIR RELEASE VALVE	⊙	⊙
BLOW OFF ASSEMBLY	⊙	⊙
PIPE CAP	⊙	⊙
GAS VALVE	⊙	⊙
TELEPHONE MH	⊙	⊙
UTILITY POLE	⊙	⊙
UTILITY POLE WITH LIGHT	⊙	⊙
STREET LIGHT	⊙	⊙
SITE LIGHT	⊙	⊙
JUNCTION/PULL BOX	⊙	⊙
MONUMENT WELL	⊙	⊙
BOLLARD	⊙	⊙
SIGN	⊙	⊙
FENCE	X	X
RETAINING WALL	---	---
BLOCK WALL	---	---
MAJOR CONTOUR	25	25
MINOR CONTOUR	---	---
GRADE BREAK LINE	GB	GB
TREE & DRIP	⊙	⊙
CONTROL POINT	⊙	⊙
FINISH FLOOR ELEVATION	FF: 123.00	FF: 123.00
SPOT ELEVATION (ASPHALT CONCRETE)	157.01 AC	13.34 AC
MATCH (E) GRADE ELEVATION	---	---
TRUNCATED DOMES	---	---
BUILDING	---	---

### ABBREVIATIONS:

AB	AGGREGATE BASE	HDPE	HIGH DENSITY POLYETHYLENE
AC	ASPHALT CONCRETE	HP	HIGH POINT
ARV	AIR RELEASE VALVE	IRR	IRRIGATION
BLDG	BUILDING	INV	INVERT
BOC	BACK OF CURB	I.E.	INVERT ELEVATION
BOW	BACK-OF-WALK	IP	JOINT POLE
BPA	BACKFLOW PREVENTION ASSEMBLY	L	LENGTH
BW	BOTTOM OF WALL	LF	LINEAL FEET
CAB	CABINET	LIP	LIP OF GUTTER
CONC	CONCRETE	LP	LOW POINT
C&G	CURB & GUTTER	LT	LEFT TURN OR LEFT
C	CENTERLINE	MAX	MAXIMUM
CMP	CORRUGATED METAL PIPE	MH	MAINTENANCE HOLE
CR	CURB RETURN	MIN	MINIMUM
CTV	CABLE TV	NE	NORTHEAST
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	NW	NORTHWEST
OC	ON CENTER	OH	OVERHEAD
DI	DRAIN / DROP INLET	OH&E	OVERHEAD TELEPHONE & ELECTRIC
DIP	DUCTILE IRON PIPE	O/P	OR POINT OF COMPOUND CURVE
DS	DOWN SPOUT	P	PROPOSED
(E)	EXISTING	PCC	PORTLAND CEMENT CONCRETE
EP	EDGE OF PAVEMENT	POC	POINT OF CONNECTION
FDC	FIRE DEPARTMENT CONNECTION	PIV	POST INDICATOR VALVE
FF	FINISH FLOOR	PL	PROPERTY LINE
FG	FINISHED GROUND	POC	POINT OF CONNECTION
FH	FIRE HYDRANT	PUE	PUBLIC UTILITY EASEMENT
FL	FLOW LINE	RC	RELATIVE COMPACTION
FOC	FACE OF CURB	RCP	REINFORCED CONCRETE PIPE
FS	FIRE SPRINKLER	ROW	RIGHT-OF-WAY
GB	GRADE BREAK	RT	RIGHT TURN OR RIGHT
GR	GRATE ELEVATION	RPPA	REDUCED PRESSURE PRINCIPLE ASSEMBLY
GV	GATE VALVE	RW	RETAINING WALL
HC	HANDICAP	SDMH	STORM DRAIN MANHOLE
HCR	HANDICAP RAMP	SD	STORM DRAIN
		SE	SOUTHEAST
		SS	SANITARY SEWER
		SSCO	SANITARY SEWER CLEAN OUT
		SSMH	SANITARY SEWER MANHOLE
		SWCT	SAWCUT
		SW	SEWERSIDE OR SOUTHWEST
		STA	STATION
		TC	TOP OF CURB
		TP	TOP OF PAVEMENT
		TS	TOP OF SIDEWALK
		TW	TOP OF WALL
		UNO	UNLESS NOTED OTHERWISE
		W	WATER
		WV	WATER VALVE
		WM	WATER METER
		VCP	VITRIFIED CLAY PIPE



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1 INCH = 40 FEET

### UTILITY CONTACT INFORMATION

UTILITY	UTILITY CO.	REPRESENTATIVE	PHONE
GAS	PACIFIC GAS & ELECTRIC	-	(916) 889-3269
ELECTRIC	ROSEVILLE ELECTRIC UTILITY	JEFF BEAUBIER	(916) 774-5611
FIRE	ROSEVILLE FIRE DEPARTMENT	JASON RIZZI	(916) 774-5802
WATER & SEWER	CITY OF ROSEVILLE DEPT. OF ENVIRONMENTAL UTILITIES	JON HEISLER	(916) 746-1741
COMMUNICATIONS	CONSOLIDATED COMMUNICATIONS	MIKE SMUIN	(800) 720-1682
	COMCAST	-	(888) 824-8219
DRAINAGE	DEVELOPMENT SERVICES ENGINEERING	JACK VAROZZA	(916) 746-1344
U.S.A.	UNDERGROUND SERVICE ALERT	(800) 642-2444	

### TOTAL DISTURBED AREA: 1.255 AC

### RAW EARTHWORK SUMMARY

CUT:	900 CY
FILL:	3,600 CY
NET:	2,700 CY

NOTE: EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE, EXCESS MATERIALS FROM TRENCHING AND MISC. UNKNOWN STRUCTURAL SECTIONS. CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.

### DEVELOPMENT STANDARDS

EXISTING GENERAL PLAN: HIGH DENSITY RESIDENTIAL (HDR-39.2) OPEN SPACE/FLOOD PLAIN (OS/FP)  
ZONE: R-3 MULTI-FAMILY RESIDENTIAL / FLOODWAY (FW)  
USE: HIGH DENSITY RESIDENTIAL [39.2 UNITS/ACRE]

ITEM	REQUIREMENTS	PROVIDED
MINIMUM FRONT SETBACK	20 FT	315 FT
MINIMUM SIDE SETBACK	5 FT	10 FT
MINIMUM REAR SETBACK	20 FT	20 FT
MAXIMUM BUILDING HEIGHT	45 FT	20 FT

PROPERTY AREA: 5.39 AC GROSS  
5.39 AC NET  
REFERENCE IS MADE TO THE CITY OF ROSEVILLE ZONING ORDINANCE

### PARKING INFORMATION

ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE		19,100 SF
PARKING REQUIRED	0.75 SPACE PER UNIT: 23 UNITS X 0.75 = 18 SPACES	23 SPACES**
MINIMUM PARKING DIMENSIONS	18 FT X 9 FT STD. * 16 FT X 9 FT COMPACT *	18 FT X 9 FT STD. 18 FT X 9 FT ACCESSIBLE
MIN. DRIVEWAY WIDTH	25 FT.	25 FT.
ACCESSIBLE SPACES	2 SPACES	2 SPACES

\*PARKING STANDARDS PER CITY OF ROSEVILLE  
\*\*PARKING SPACES TO REMAIN FOR EXISTING FACILITY = 68 SPACES

APPROVED BY: [Signature]

DATE: [Date]

REVISION: [Table]

CHECK NO. [Table]

BY: [Table]

DESIGN: [Table]

DRAWN: [Table]

QUANT.: [Table]

ORIGINAL SCALE IS IN INCHES [Table]

PROFESSIONAL ENGINEER  
No. C 80625  
PRELIMINARY  
NOT FOR CONSTRUCTION  
OF CALL

**WE**  
2260 Douglas Blvd., Suite 150, Roseville, CA 95661  
Ph: 916-772-7800 | www.ewcorp.com

**DINAPOLI CAPITAL PARTNERS**  
3021 CITRUS CIRCLE, STE 130  
WALNUT CREEK, CA 94598

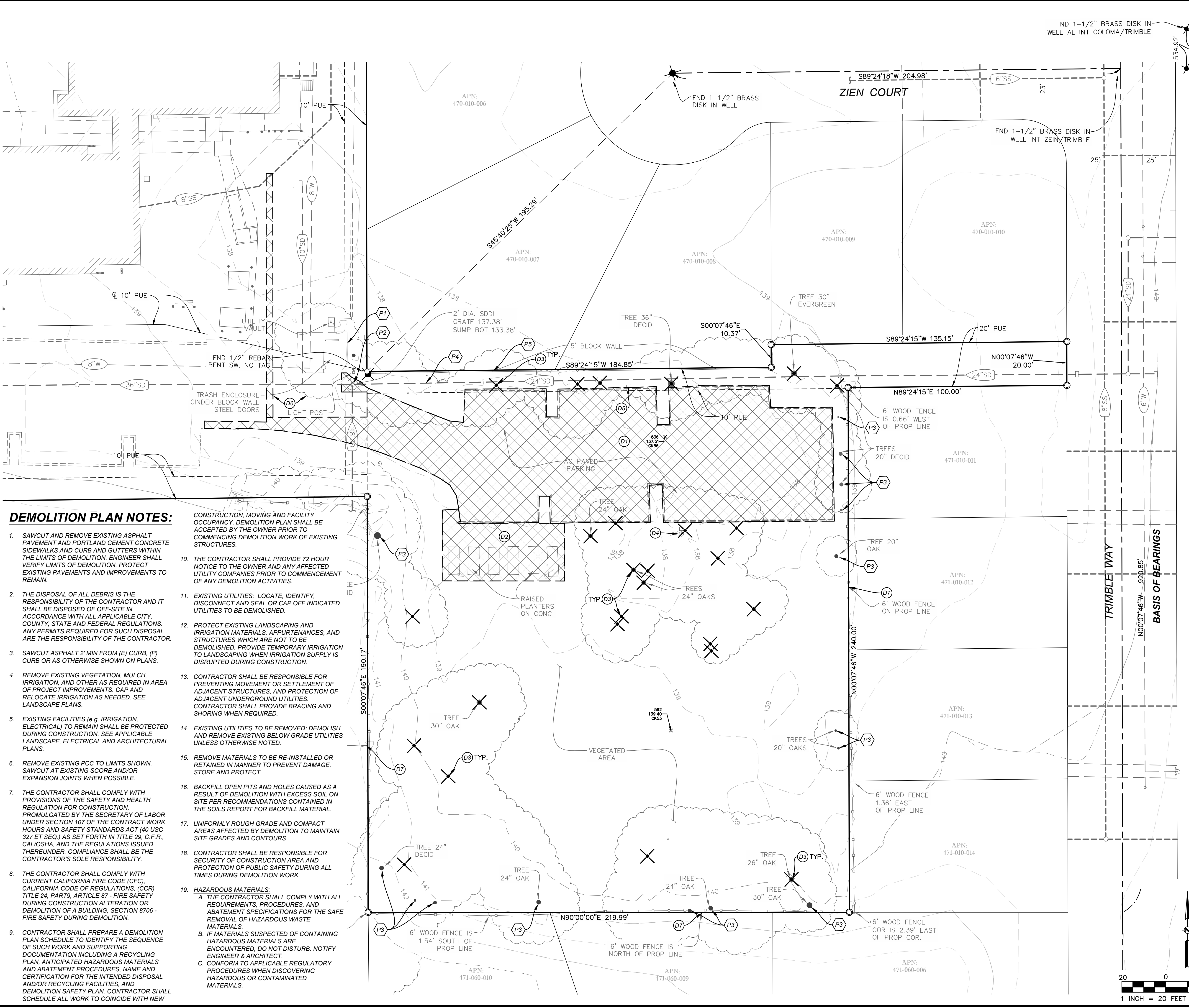
**THE TERRACES OF ROSEVILLE**  
707 SUNRISE AVENUE  
ROSEVILLE, CA 95661

**PRELIMINARY SITE PLAN**

Sheet  
**C1**  
1 of 6  
2/19/2025

CME PROJECT R24109 - TERRACES OF ROSEVILLE, ROSEVILLE, CA

W:\2024 Projects\202409 Terraces of Roseville\WORKING CAD\02-EXISTING CONDITIONS & DEMO PLAN-R24109.dwg, Feb. 19, 2025 - 05:05 pm



- LEGEND:**
- CENTERLINE
  - SUBJECT PARCEL BOUNDARY
  - ADJACENT PARCEL BOUNDARY
  - - - EASEMENT AS NOTED
  - FENCE
  - - - 140 MAJOR CONTOUR LINE
  - - - MINOR CONTOUR LINE
  - STORM DRAIN DROP INLET
  - LIGHT POLE
  - UTILITY VAULT / PULL BOX
  - TREE
  - ⊗ TREE REMOVAL
  - DIMENSION POINT - NOTHING FOUND OR SET
  - ⊗ FOUND MONUMENT AS NOTED
  - ▨ DEMOLISH AND REMOVE
  - - - DEMOLISH AND REMOVE UTILITY

**UTILITY NOTE:**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**NOTICE TO CONTRACTOR - ORDER OF WORK:**  
 PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POTHOLING AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT RFE ENGINEERING IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. RFE ENGINEERING WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.

**NOTE:**

- REFER TO SITE PLAN C1 FOR THE PROJECT FLOOD ZONE, BASIS OF BEARING, AND PROJECT DATUM.
- SUBJECT PROPERTY IS ACCESSED VIA SUNRISE AVENUE ON THE WEST SIDE (NOT SHOWN)

- DEMOLITION KEYNOTES:**
- (D1) REMOVE EXISTING PAVEMENT & CONCRETE CURB.
  - (D2) REMOVE EXISTING CONCRETE.
  - (D3) REMOVE EXISTING TREE.
  - (D4) REMOVE EXISTING LIGHTING.
  - (D5) REMOVE EXISTING STORM DRAIN.
  - (D6) REMOVE AND REPLACE EXISTING PAVEMENT AND CURB & GUTTER TO CONSTRUCT PROPOSED UTILITY CONNECTIONS - SEE SHEET C3 FOR IMPROVEMENTS. TRENCH RESTORATION IN CITY RIGHT OF WAY TO BE PER CITY STANDARDS.
  - (D7) REMOVE AND REPLACE EXISTING PERIMETER FENCE PER PLANS BY ARCHITECT.

- PROTECT-IN-PLACE KEYNOTES:**
- (P1) PROTECT-IN-PLACE EXISTING CONCRETE CURB & GUTTER DURING CONSTRUCTION.
  - (P2) PROTECT-IN-PLACE UTILITY BOX. RAISE TO FINISHED GRADE WITH PROPOSED IMPROVEMENTS. TRAFFIC RATED (H20) COVER TO REPLACE EXISTING COVER, IF NECESSARY.
  - (P3) PROTECT-IN-PLACE TREE. ESA FENCING TO BE PLACED AROUND PERIMETER OF TREE BELOW DRIPLINE DURING CONSTRUCTION.
  - (P4) PROTECT-IN-PLACE UNDERGROUND UTILITY LINES DURING CONSTRUCTION.
  - (P5) PROTECT-IN-PLACE FENCE.

**DEMOLITION PLAN NOTES:**

1. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AND PORTLAND CEMENT CONCRETE SIDEWALKS AND CURB AND GUTTERS WITHIN THE LIMITS OF DEMOLITION. ENGINEER SHALL VERIFY LIMITS OF DEMOLITION. PROTECT EXISTING PAVEMENTS AND IMPROVEMENTS TO REMAIN.
2. THE DISPOSAL OF ALL DEBRIS IS THE RESPONSIBILITY OF THE CONTRACTOR AND IT SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS. ANY PERMITS REQUIRED FOR SUCH DISPOSAL ARE THE RESPONSIBILITY OF THE CONTRACTOR.
3. SAWCUT ASPHALT 2' MIN FROM (E) CURB, (P) CURB OR AS OTHERWISE SHOWN ON PLANS.
4. REMOVE EXISTING VEGETATION, MULCH, IRRIGATION, AND OTHER AS REQUIRED IN AREA OF PROJECT IMPROVEMENTS. CAP AND RELOCATE IRRIGATION AS NEEDED. SEE LANDSCAPE PLANS.
5. EXISTING FACILITIES (e.g. IRRIGATION, ELECTRICAL) TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. SEE APPLICABLE LANDSCAPE, ELECTRICAL AND ARCHITECTURAL PLANS.
6. REMOVE EXISTING PCC TO LIMITS SHOWN. SAWCUT AT EXISTING SCORE AND/OR EXPANSION JOINTS WHEN POSSIBLE.
7. THE CONTRACTOR SHALL COMPLY WITH PROVISIONS OF THE SAFETY AND HEALTH REGULATION FOR CONSTRUCTION PROMULGATED BY THE SECRETARY OF LABOR UNDER SECTION 107 OF THE CONTRACT WORK HOURS AND SAFETY STANDARDS ACT (40 USC 327 ET SEQ.) AS SET FORTH IN TITLE 29, C.F.R., CAL/OSHA, AND THE REGULATIONS ISSUED THEREUNDER. COMPLIANCE SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY.
8. THE CONTRACTOR SHALL COMPLY WITH CURRENT CALIFORNIA FIRE CODE (CFC), CALIFORNIA CODE OF REGULATIONS, (CCR) TITLE 24, PARTS, ARTICLE 87 - FIRE SAFETY DURING CONSTRUCTION ALTERATION OR DEMOLITION OF A BUILDING, SECTION 8706 - FIRE SAFETY DURING DEMOLITION.
9. CONTRACTOR SHALL PREPARE A DEMOLITION PLAN SCHEDULE TO IDENTIFY THE SEQUENCE OF SUCH WORK AND SUPPORTING DOCUMENTATION INCLUDING A RECYCLING PLAN, ANTICIPATED HAZARDOUS MATERIALS AND ABATEMENT PROCEDURES, NAME AND CERTIFICATION FOR THE INTENDED DISPOSAL AND/OR RECYCLING FACILITIES, AND DEMOLITION SAFETY PLAN. CONTRACTOR SHALL SCHEDULE ALL WORK TO COINCIDE WITH NEW CONSTRUCTION, MOVING AND FACILITY OCCUPANCY. DEMOLITION PLAN SHALL BE ACCEPTED BY THE OWNER PRIOR TO COMMENCING DEMOLITION WORK OF EXISTING STRUCTURES.
10. THE CONTRACTOR SHALL PROVIDE 72 HOUR NOTICE TO THE OWNER AND ANY AFFECTED UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITIES.
11. EXISTING UTILITIES: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITIES TO BE DEMOLISHED.
12. PROTECT EXISTING LANDSCAPING AND IRRIGATION MATERIALS, APPURTENANCES, AND STRUCTURES WHICH ARE NOT TO BE DEMOLISHED. PROVIDE TEMPORARY IRRIGATION TO LANDSCAPING WHEN IRRIGATION SUPPLY IS DISRUPTED DURING CONSTRUCTION.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES, AND PROTECTION OF ADJACENT UNDERGROUND UTILITIES. CONTRACTOR SHALL PROVIDE BRACING AND SHORING WHEN REQUIRED.
14. EXISTING UTILITIES TO BE REMOVED: DEMOLISH AND REMOVE EXISTING BELOW GRADE UTILITIES UNLESS OTHERWISE NOTED.
15. REMOVE MATERIALS TO BE RE-INSTALLED OR RETAINED IN MANNER TO PREVENT DAMAGE. STORE AND PROTECT.
16. BACKFILL OPEN PITS AND HOLES CAUSED AS A RESULT OF DEMOLITION WITH EXCESS SOIL ON SITE PER RECOMMENDATIONS CONTAINED IN THE SOILS REPORT FOR BACKFILL MATERIAL.
17. UNIFORMLY ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF CONSTRUCTION AREA AND PROTECTION OF PUBLIC SAFETY DURING ALL TIMES DURING DEMOLITION WORK.
19. HAZARDOUS MATERIALS:
  - A. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS, PROCEDURES, AND ABATEMENT SPECIFICATIONS FOR THE SAFE REMOVAL OF HAZARDOUS WASTE MATERIALS.
  - B. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. NOTIFY ENGINEER & ARCHITECT.
  - C. CONFORM TO APPLICABLE REGULATORY PROCEDURES WHEN DISCOVERING HAZARDOUS OR CONTAMINATED MATERIALS.

APPROVD		DATE		REVISION		CHECK NO.		BY		DESIGN		DRAWN		QUANT.		ORIGINAL SCALE IS IN INCHES		

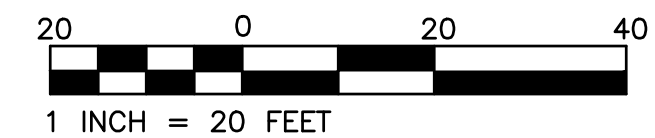
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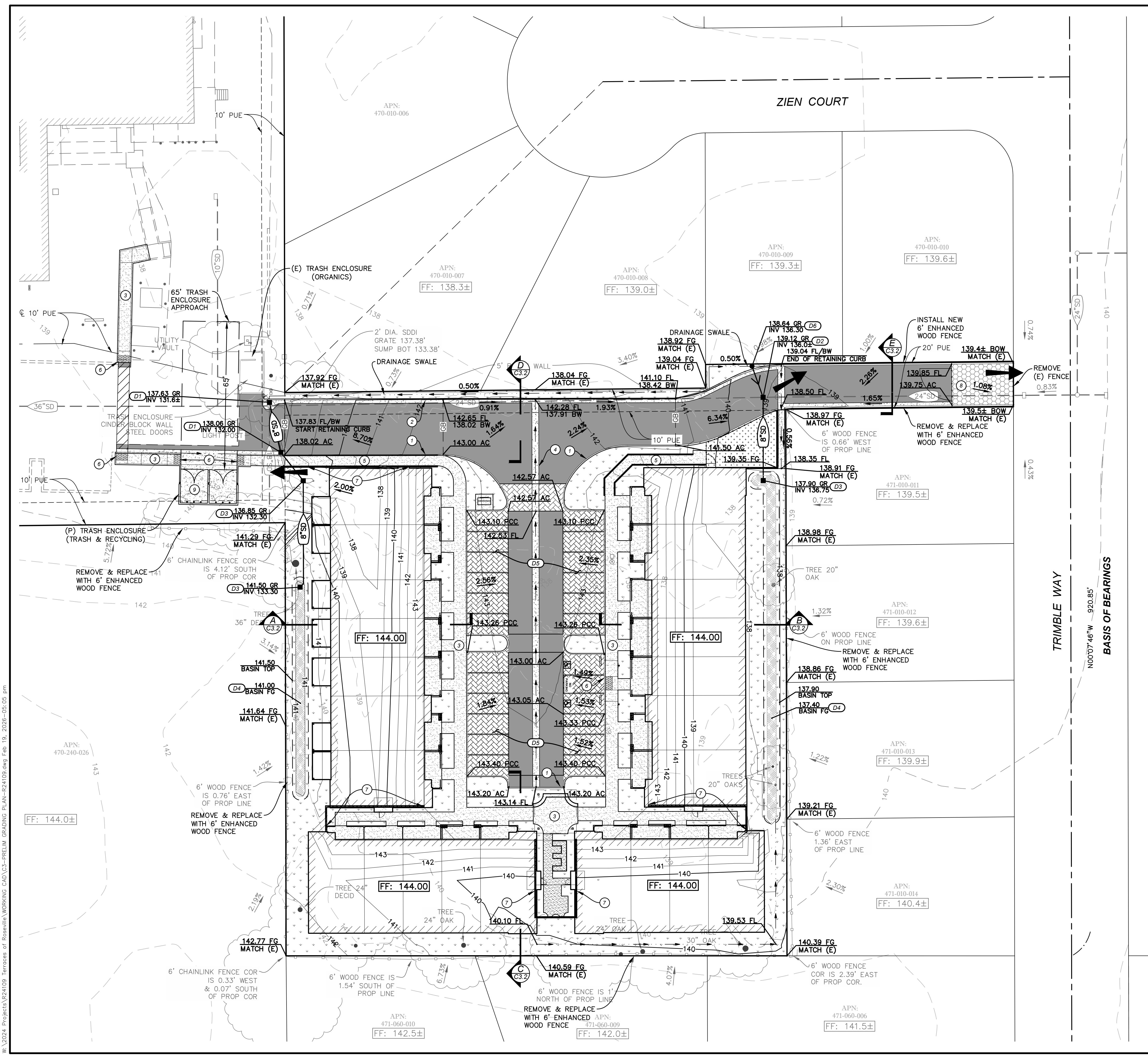
**THE TERRACES OF ROSEVILLE**  
 707 SUNRISE AVENUE  
 ROSEVILLE, CA 95661  
**EXISTING CONDITIONS & DEMOLITION PLAN**

Sheet **C2**  
 2 of 6  
 2/19/2025



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**LEGEND:**

AC DRIVE AISLE	FINISHED FLOOR ELEVATION	FF: 123.00
AC PARKING	SPOT ELEVATION (ABBREVIATION)	13.34 FG
HEAVY DUTY PCC	MATCH (E) GRADE ELEVATION	13.61 AC MATCH (E)
LIGHT DUTY PCC	INDEX CONTOUR	25
LANDSCAPING SEE PLANS BY OTHERS	INTERMEDIATE CONTOURS	
PERVIOUS PAVER	STORM DRAIN PIPE	XX"SD
BIORETENTION PLANTERS	DRAINAGE INLET	■ ●
RETAINING WALL	STORM DRAIN MANHOLE	⊙
BLOCK WALL	SURFACE FLOW / DRAINAGE FLOW	→
TRUNCATED DOMES	OVERLAND RELEASE	➔
GRADE BREAK LINE		GB

- CONSTRUCTION KEYNOTES:**
- CONSTRUCT ON-SITE CONCRETE BARRIER CURB
  - CONSTRUCT ON-SITE CONCRETE CURB & GUTTER
  - CONSTRUCT CONCRETE SIDEWALK
  - CONSTRUCT 3' WIDE REINFORCED CONCRETE VALLEY GUTTER
  - CONSTRUCT RAMP WITH HANDRAILS (8.33% MAX LONGITUDINAL SLOPE).
  - CONSTRUCT ACCESSIBLE CURB RAMP
  - CONSTRUCT RETAINING WALL
  - CONSTRUCT GRASSBLOCK OR SIMILAR
  - CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLANS AND CITY STANDARD DETAIL

- DRAINAGE KEYNOTES:**
- D1 DRAINAGE BASIN WITH TRAFFIC GRATE. CONNECT TO EXISTING STORM DRAIN.
  - D2 DRAINAGE BASIN WITH SOLID LID (JUNCTION BOX). CONNECT TO EXISTING STORM DRAIN.
  - D3 OVERFLOW DRAINAGE BASIN WITH DOME GRATE.
  - D4 CONSTRUCT BIORETENTION PLANTER.
  - D5 CONSTRUCT PERVIOUS PAVERS.
  - D6 AREA DRAIN WITH DOME GRATE.
- NOTE:** ALL STORM DRAIN MATERIAL TO BE SDR-35 PVC OR APPROVED EQUIVALENT.

- GENERAL GRADING AND DRAINAGE NOTES:**
- ALL VALVES, MANHOLES, CLEANOUTS, D'S, PULLBOXES, ETC. WITHIN LIMITS OF CONSTRUCTION TO BE ADJUSTED TO FINISH GRADE AS NEEDED.
  - GRADING, PAVING, AND EARTHWORK SHALL BE IN ACCORDANCE WITH PROJECT GEOTECHNICAL REPORT AS LISTED ON SHEET C1.
  - ALL ELEVATIONS SHOWN ARE AT FINISH GRADE AND ON NAVD 88 DATUM AS LISTED ON SHEET C1, UNLESS OTHERWISE NOTED.
  - VERIFY ALL UTILITY LOCATIONS, PIPE ELEVATIONS, ETC. PRIOR TO CONSTRUCTION.
  - THE ACCESSIBLE PATH OF TRAVEL SHALL SLOPE AT 5% MAX IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS-SLOPE. PER CBC 11B-403 (UNLESS RAMPS ARE PROPOSED) WHERE THE ACCESSIBLE ROUTE MAKES A 90 DEGREE TURN, THE INTERMEDIATE CORNER SHALL SLOPE NO MORE THAN 2% IN ANY DIRECTION. RAMPS SHALL NOT BE GREATER THAN 8.33%.
  - ALL ADA ACCESSIBLE PARKING SPACES SHALL HAVE SLOPES LESS THAN 2% IN ANY DIRECTION.
  - SITE LIGHT LOCATIONS SHOWN FOR REFERENCE ONLY. VERIFY LOCATIONS WITH SITE ELECTRICAL PLANS.

811 Know what's below. Call before you dig. or (800) 642-2444

Sheet C3.1 3 of 6 2/19/2025

1 INCH = 20 FEET

APPROVED BY: [Signature] DATE: [ ]/ [ ]/ [ ]

REVISION: [ ]

CHECK NO. [ ]

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DRAWN: [ ]

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ORIGINAL SCALE IS 1/4" = 1' INCHES

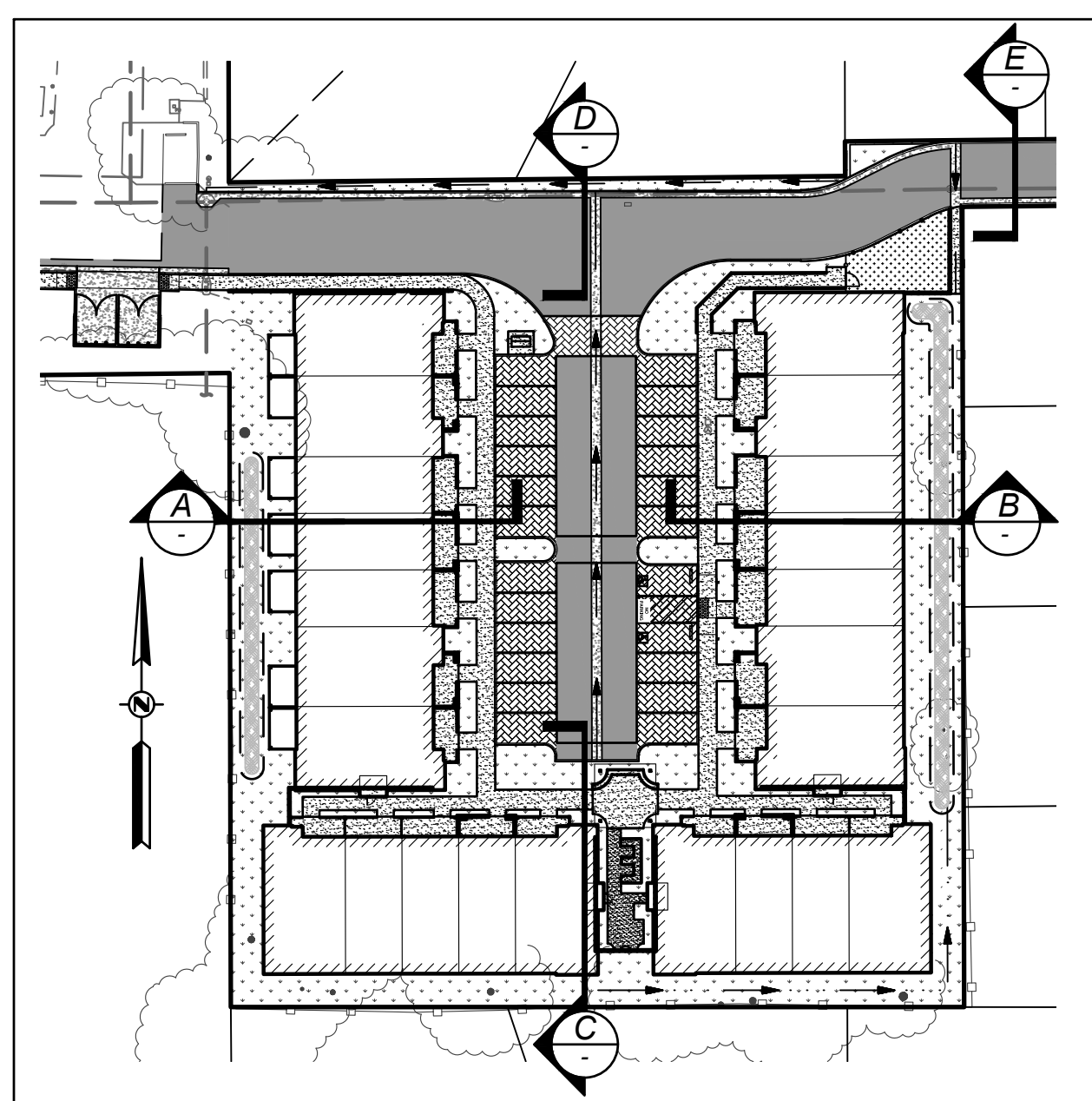
**DINAPOLI CAPITAL PARTNERS**  
3021 CITRUS CIRCLE, STE 130  
WALNUT CREEK, CA 94598

**THE TERRACES OF ROSEVILLE**  
707 SUNRISE AVENUE  
ROSEVILLE, CA 95661  
PRELIMINARY GRADING, DRAINAGE, & PAVING PLAN

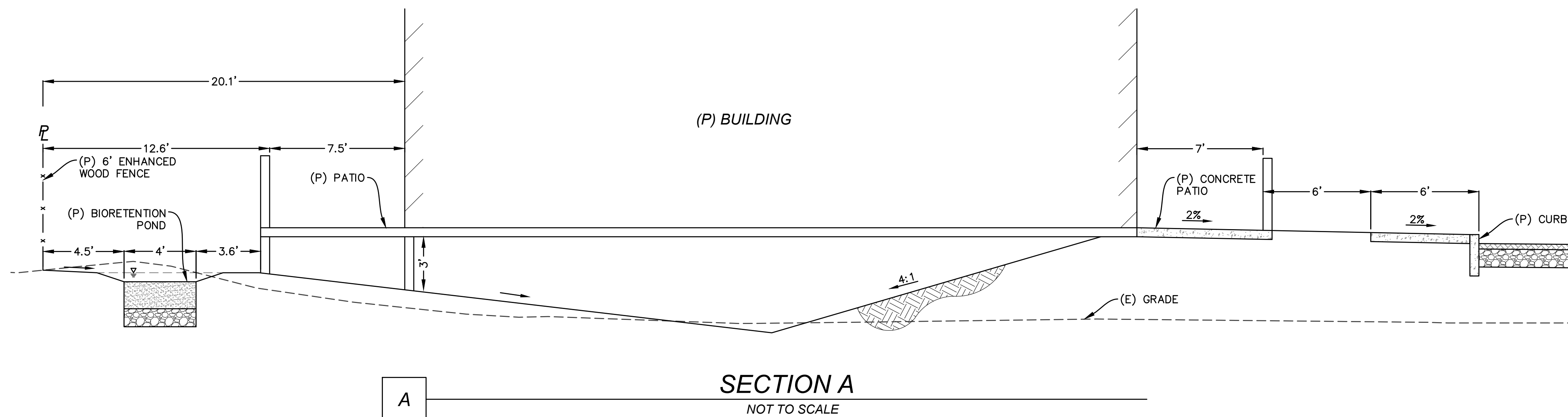
PROFESSIONAL ENGINEER  
No. C 80625  
PRELIMINARY NOT FOR CONSTRUCTION OF CALL

2260 Douglas Blvd., Suite 160, Roseville, CA 95681  
Ph: 916-772-7800 | www.enr.com

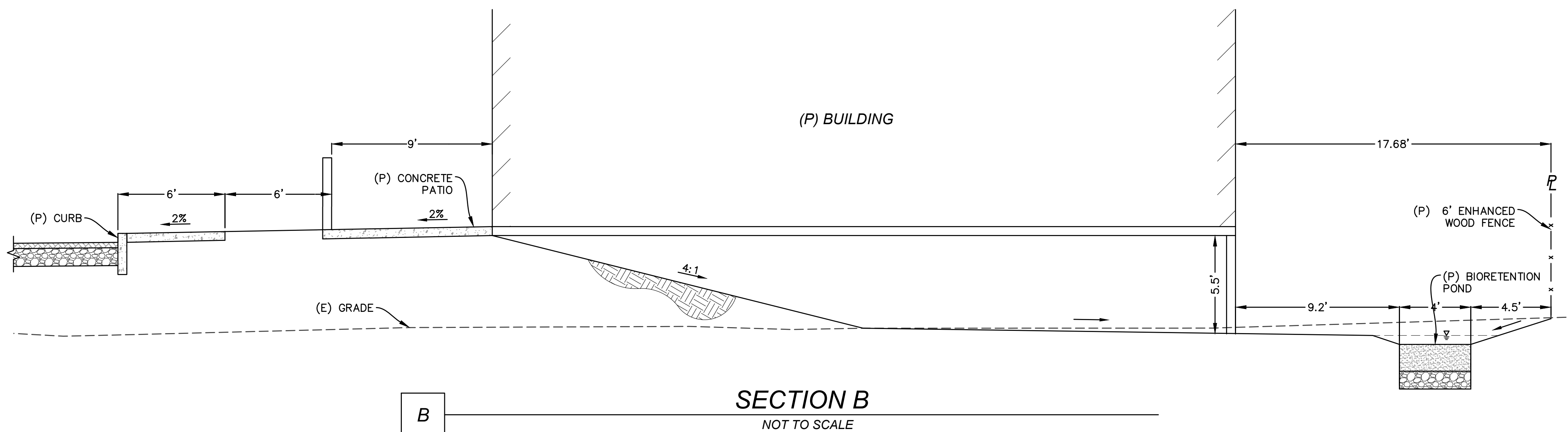
CWE PROJECT R24109 - TERRACES OF ROSEVILLE, ROSEVILLE, CA



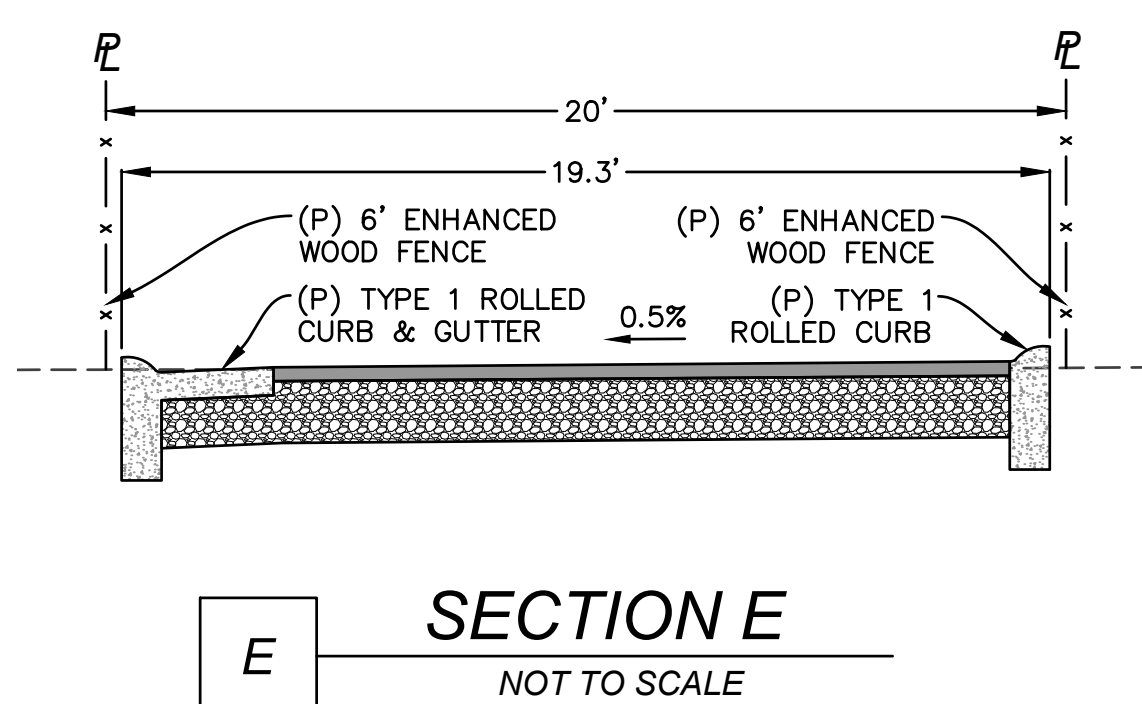
**SECTION KEYMAP**



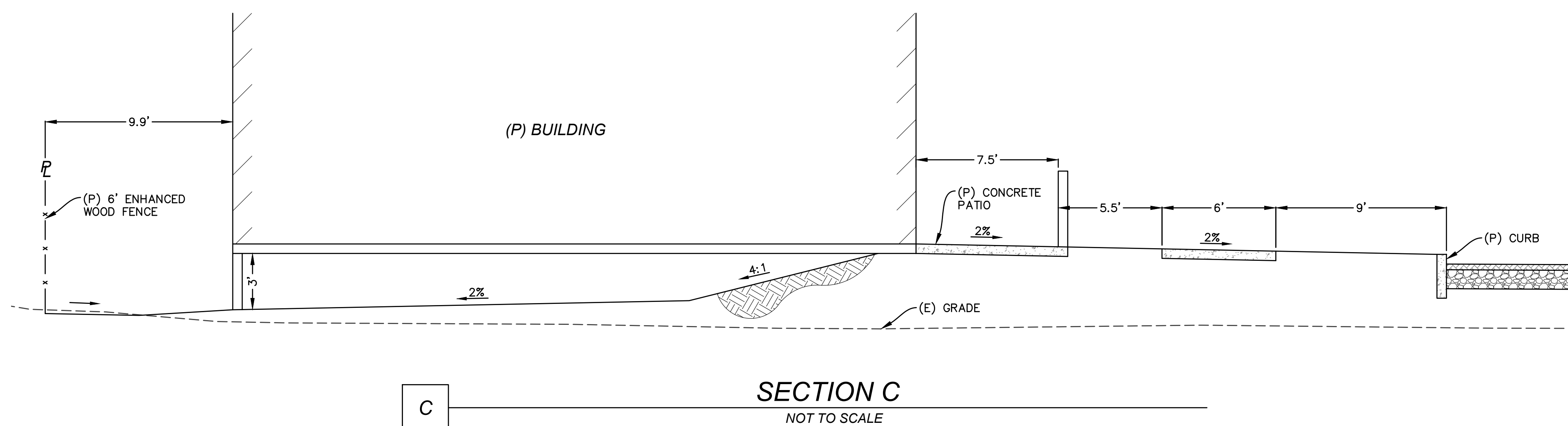
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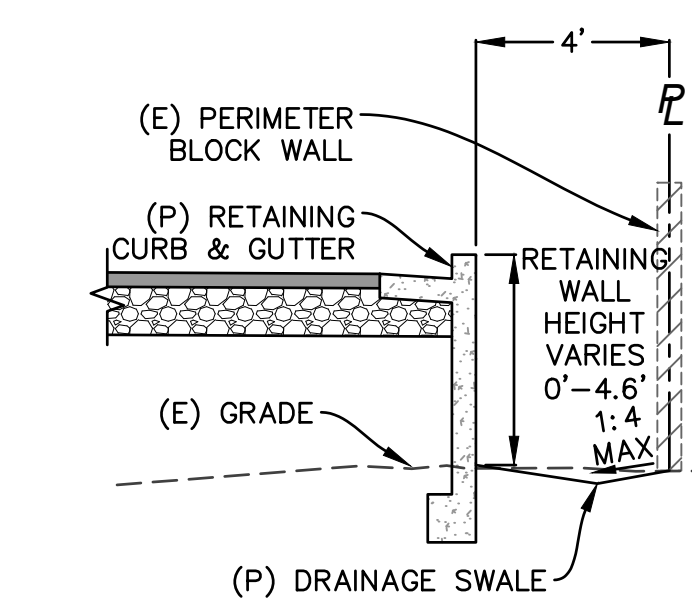
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**SECTION E**  
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**SECTION C**  
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**SECTION D**  
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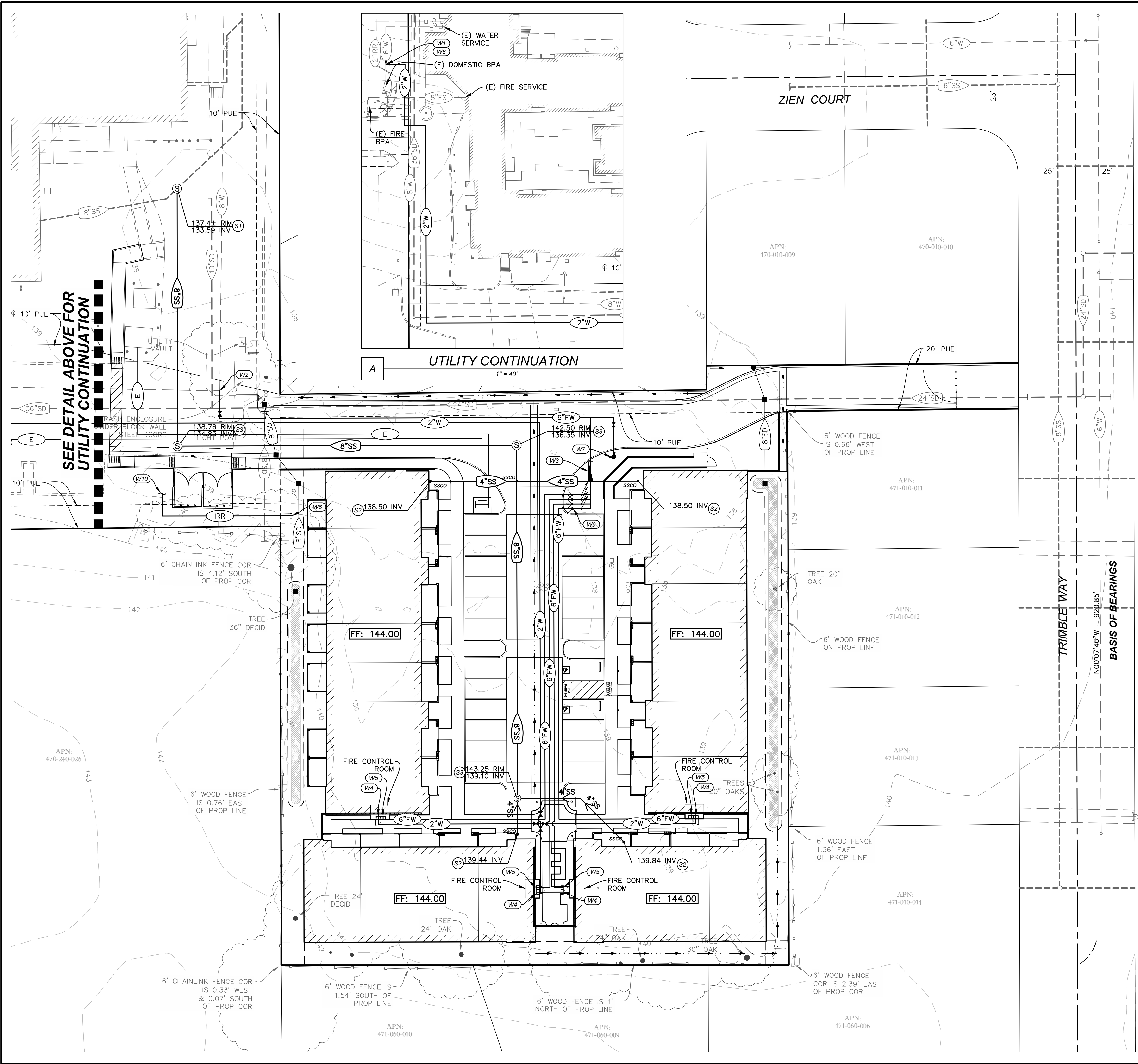


**DINAPOLI CAPITAL PARTNERS**  
3021 CITRUS CIRCLE, STE 130  
WALNUT CREEK, CA 94598

**THE TERRACES OF ROSEVILLE**  
707 SUNRISE AVENUE  
ROSEVILLE, CA 95661  
**PRELIMINARY TYPICAL SITE CROSS SECTIONS**

CWE PROJECT R24109 - TERRACES OF ROSEVILLE, ROSEVILLE, CA

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DESCRIPTION	EXISTING	PROPOSED
SANITARY SEWER	XX"SS	XX"SS
WATER	XX"W	XX"W
FIRE SERVICE	XX"FS	XX"FS
STORM DRAIN	XX"SD	XX"SD
SSMH		
SSCO		
FIRE HYDRANT		
PIV		
FDC		
WATER VALVE		
WATER METER		
CONCENTRIC REDUCER		
REDUCED PRINCIPAL PRESSURE ASSEMBLY		
REDUCED PRESSURE BACKFLOW PREVENTER		
STREET LIGHT		
FITTINGS	90° TEE 45° 22.5° 11.25° 	

**SANITARY SEWER CONSTRUCTION KEYNOTES:**

(S1) CONNECT (P) 8" PRIVATE SEWER MAIN TO (E) PRIVATE SEWER MAIN WITH (P) SSMH PER PLAN. VERIFY SIZE, LOCATION, AND INVERT OF PROPOSED PIPE CONNECTION PRIOR TO CONSTRUCTION. IF DIFFERENT FROM WHAT IS SHOWN ON PLANS, CONTACT ENGINEER. TRENCH RESTORATION PER CITY OF ROSEVILLE STANDARDS AND SPECIFICATIONS.

(S2) POINT OF CONNECTION TO BUILDING AND NEW CLEAN OUT TO GRADE FOR NEW SANITARY SEWER LINE. MINIMUM SLOPE TO BE 2.0% MIN.

(S3) PLACE SANITARY SEWER MANHOLE (SSMH) PER CITY OF ROSEVILLE STANDARDS. VERIFY SIZE, LOCATION, AND INVERT ELEVATIONS OF PIPE CONNECTION(S) PRIOR TO CONSTRUCTION. IF DIFFERENT FROM WHAT IS SHOWN ON PLANS, CONTACT ENGINEER.

(S4) INSTALL NEW CLEAN OUT TO GRADE PER CITY STANDARDS.

**WATER CONSTRUCTION KEYNOTES:**

(W1) INSTALL TEE ON EXISTING WATER SERVICE FOR NEW DOMESTIC WATER SERVICE PER CITY STANDARDS.

(W2) INSTALL TEE ON EXISTING FIRE SERVICE FOR NEW FIRE SERVICE EXTENSION.

(W3) REDUCED PRESSURE BACKFLOW PREVENTER FOR FIRE SPRINKLER SERVICE.

(W4) POINT OF CONNECTION TO BUILDING FOR DOMESTIC WATER SERVICE.

(W5) POINT OF CONNECTION TO BUILDING FOR FIRE SPRINKLER SERVICE.

(W6) POINT OF CONNECTION AND BACKFLOW PREVENTER FOR IRRIGATION SERVICE.

(W7) FIRE HYDRANT

(W8) TRENCH BACKFILL AND SURFACE RESTORATION.

(W9) FIRE DEPT. CONNECTION AND POST INDICATOR VALVE FOR FIRE SPRINKLER SERVICE.

(W10) LOCATE AND TIE INTO EXISTING IRRIGATION SYSTEM.

**WATER NOTES:**  
 1.) WATER PIPE SIZES 4" - 12" SHALL BE C-900 PVC.  
 2.) WATER PIPE SIZES <4" SHALL BE SCHEDULE 80 PVC.

**UTILITY GENERAL NOTES:**

- CONTRACTOR TO VERIFY LOCATIONS OF UTILITY POINTS OF CONNECTION AT BUILDING WITH THE BUILDING PLANS PRIOR TO CONSTRUCTION.
- ALL SEWER MATERIALS AND INSTALLATION OF PUBLIC SEWER FACILITIES SHALL BE IN ACCORDANCE WITH CITY OF ROSEVILLE STANDARDS.
- THE CONTRACTOR SHALL POTHOLE AND VERIFY THE DEPTH OF ALL EXISTING UTILITIES PRIOR TO THE INSTALLATION OF PROPOSED UTILITIES. ANY UNANTICIPATED CONFLICTS SHALL BE REDESIGNED PRIOR TO BEGINNING WORK.
- ALL TRENCHING FOR WATER AND SEWER UTILITIES SHALL COMPLY WITH CITY OF ROSEVILLE. TRENCH RESTORATION CONSTRUCTED PER CITY OF ROSEVILLE SPECIFICATIONS.
- WATERLINES TO BE INSTALLED WITH 36" MIN. COVER.
- ALL SEWER MAINS SHALL BE CONSTRUCTED WITH SDR-35 PVC PIPE.
- SITE LIGHT LOCATIONS AND ELECTRICAL LINES SHOWN FOR REFERENCE ONLY. VERIFY LOCATIONS WITH SITE ELECTRICAL PLANS.
- WATERLINES TO CROSS ABOVE SANITARY SEWER OR STORM DRAIN PIPES WITH MIN. 12" CLEAR FROM OUTER DIAMETER OF PIPE.
- ALL WATER MATERIALS AND INSTALLATION OF PUBLIC WATER FACILITIES SHALL BE IN ACCORDANCE WITH CITY OF ROSEVILLE STANDARDS.

**Know what's below.**  
**Call before you dig.**  
 or (800) 642-2444

BY	CHECK NO.	DATE	REVISION	BY	APPRVD
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JDC	SBS	0		JDC	SBS
ORIGINAL SCALE IS IN INCHES					

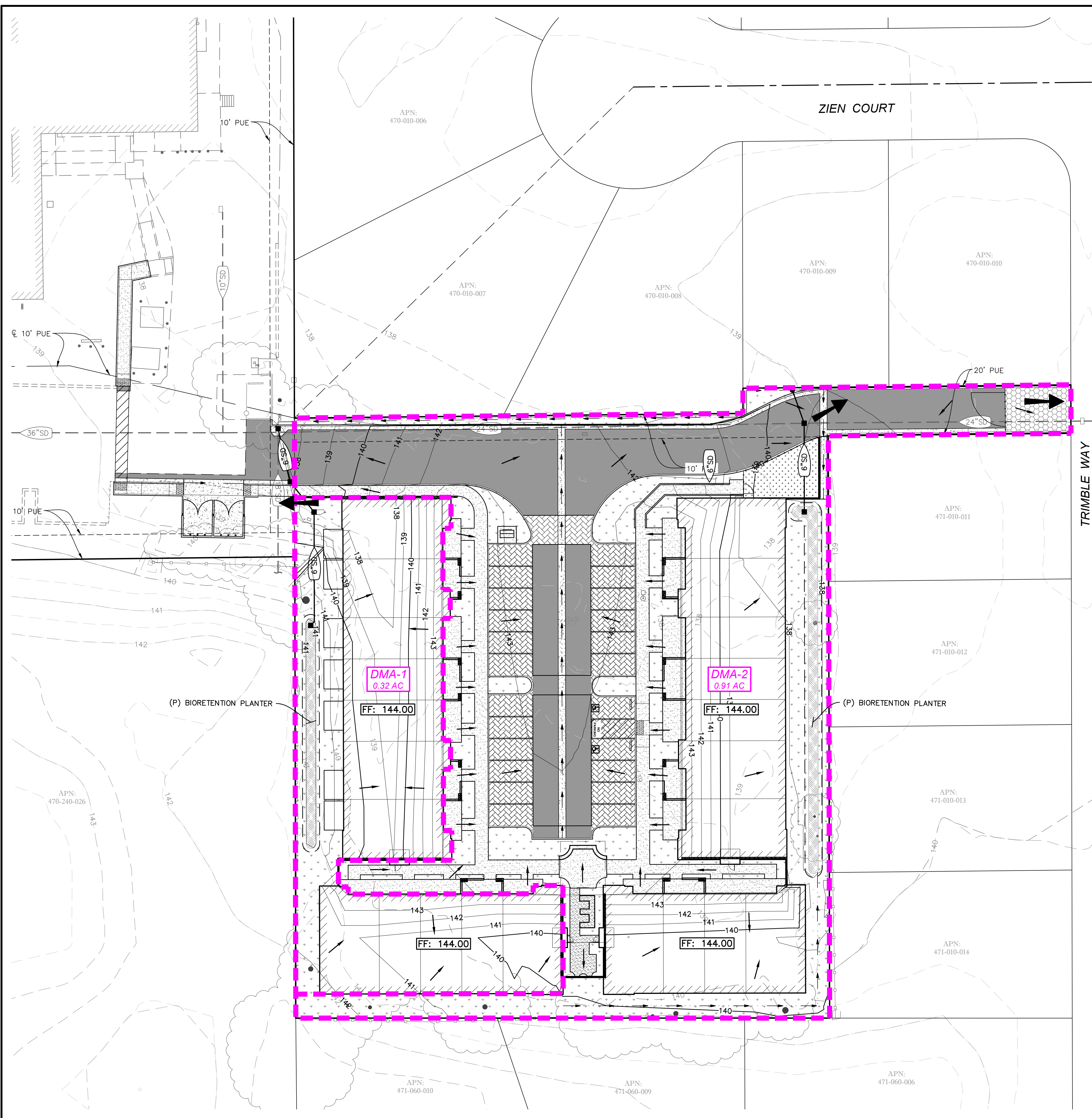
**DINAPOLI CAPITAL PARTNERS**  
 PRELIMINARY WATER & SANITARY SEWER PLAN  
 3021 CITRUS CIRCLE, STE 130  
 WALNUT CREEK, CA 94598  
 Ph: 916-772-7800 | www.dinapoli.com

THE TERRACES OF ROSEVILLE  
 707 SUNRISE AVENUE  
 ROSEVILLE, CA 95661

PROJECT R24109 - TERRACES OF ROSEVILLE, ROSEVILLE, CA

Sheet **C4**  
 5 of 6  
 2/19/2025

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**LEGEND**

SHED AREA DMA-1  
0.071  
AC

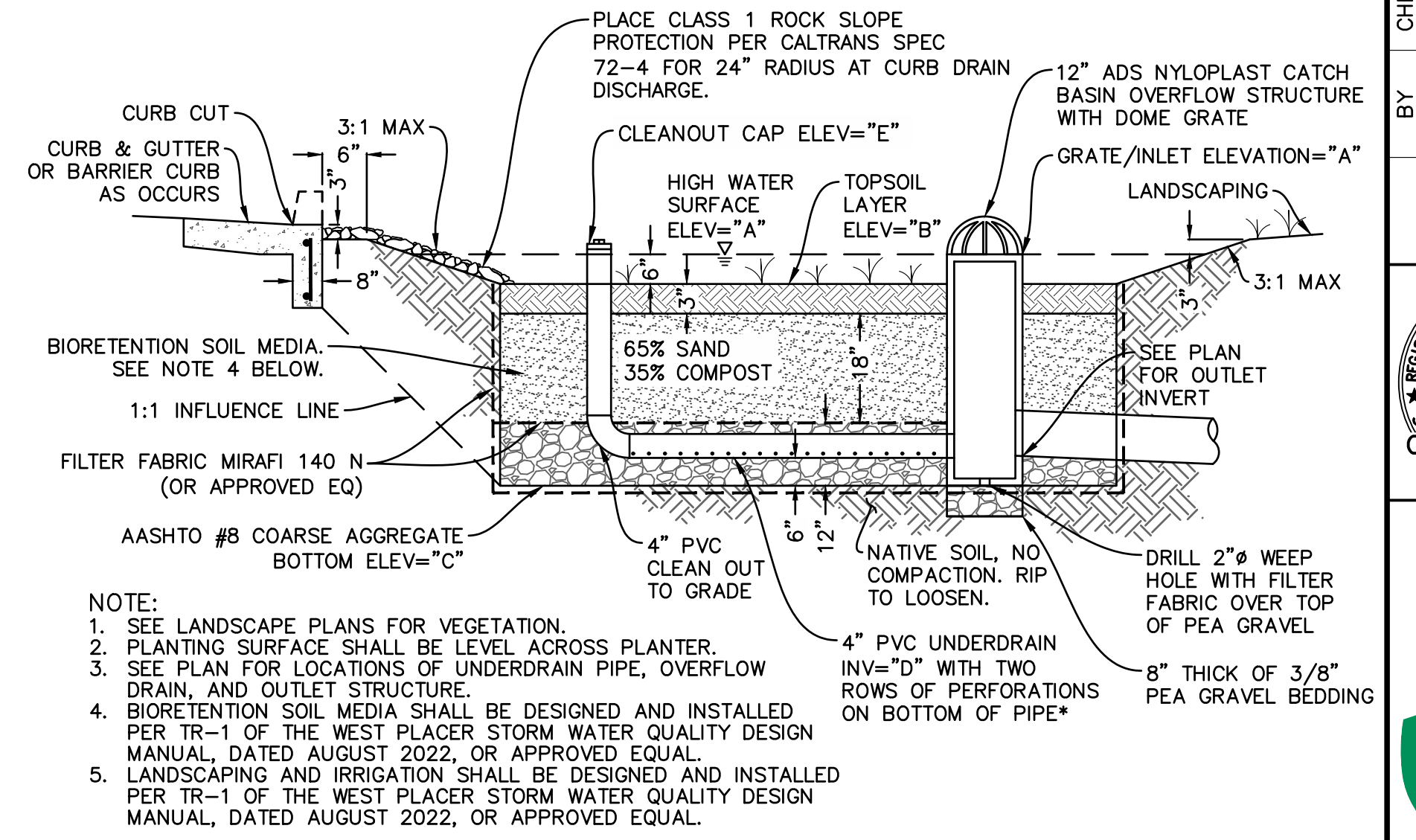
SHED AREA BOUNDARY

DRAINAGE FLOW  →

OVERLAND RELEASE  →

**POST-CONSTRUCTION SHED AREAS (ACRE)**

SHED	IMPERVIOUS	PERVIOUS	TOTAL	% IMPERVIOUS
DMA-1	0.240	0.080	0.320	75.08%
DMA-2	0.701	0.287	0.988	70.95%
<b>TOTAL</b>	<b>0.941</b>	<b>0.367</b>	<b>1.308</b>	<b>71.96%</b>

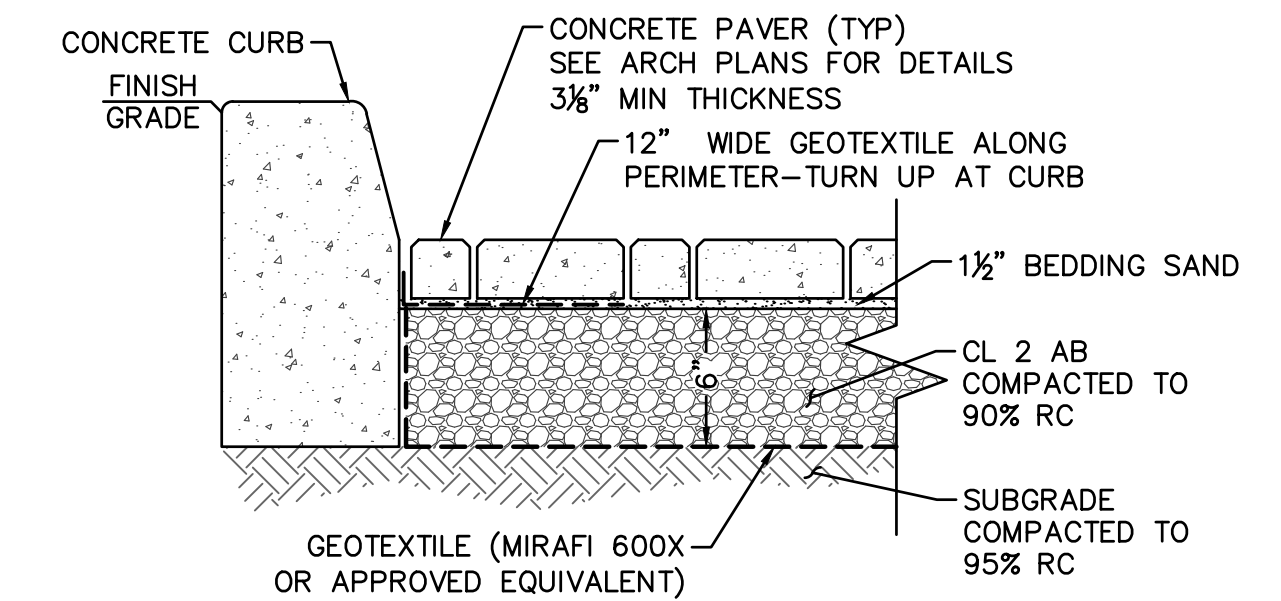


**BIORETENTION AREA DIMENSIONS**

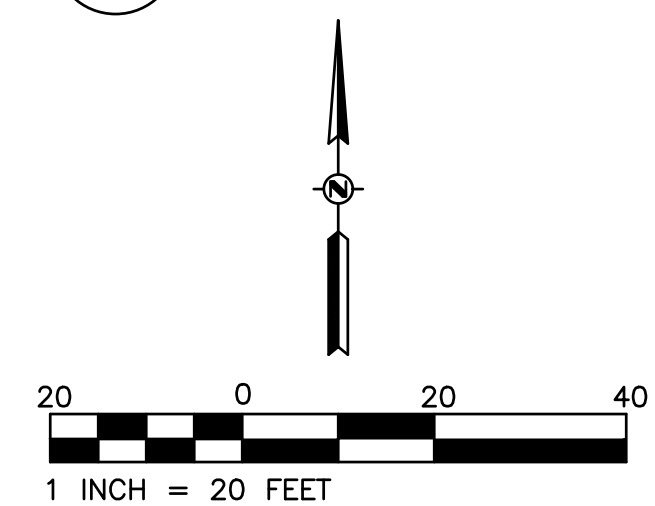
IMP	DIMENSION (FT)				
	A	B	C	D	E
1	+0.5	0	-3.0	-2.5	+0.67
2	+0.5	0	-3.0	-2.5	+0.67

- NOTES:**
- HIGH WATER/OVERFLOW CATCH BASIN GRATE ELEVATION
  - TOP OF SANDY LOAM TOPSOIL LAYER ELEVATION
  - BOTTOM OF GRAVEL LAYER ELEVATION
  - UNDERDRAIN INVERT ELEVATION
  - CLEANOUT CAP ELEVATION (FT)

**1 BIORETENTION PLANTER SECTION**  
NOT TO SCALE



**2 PERMEABLE PAVER SECTION**  
NOT TO SCALE



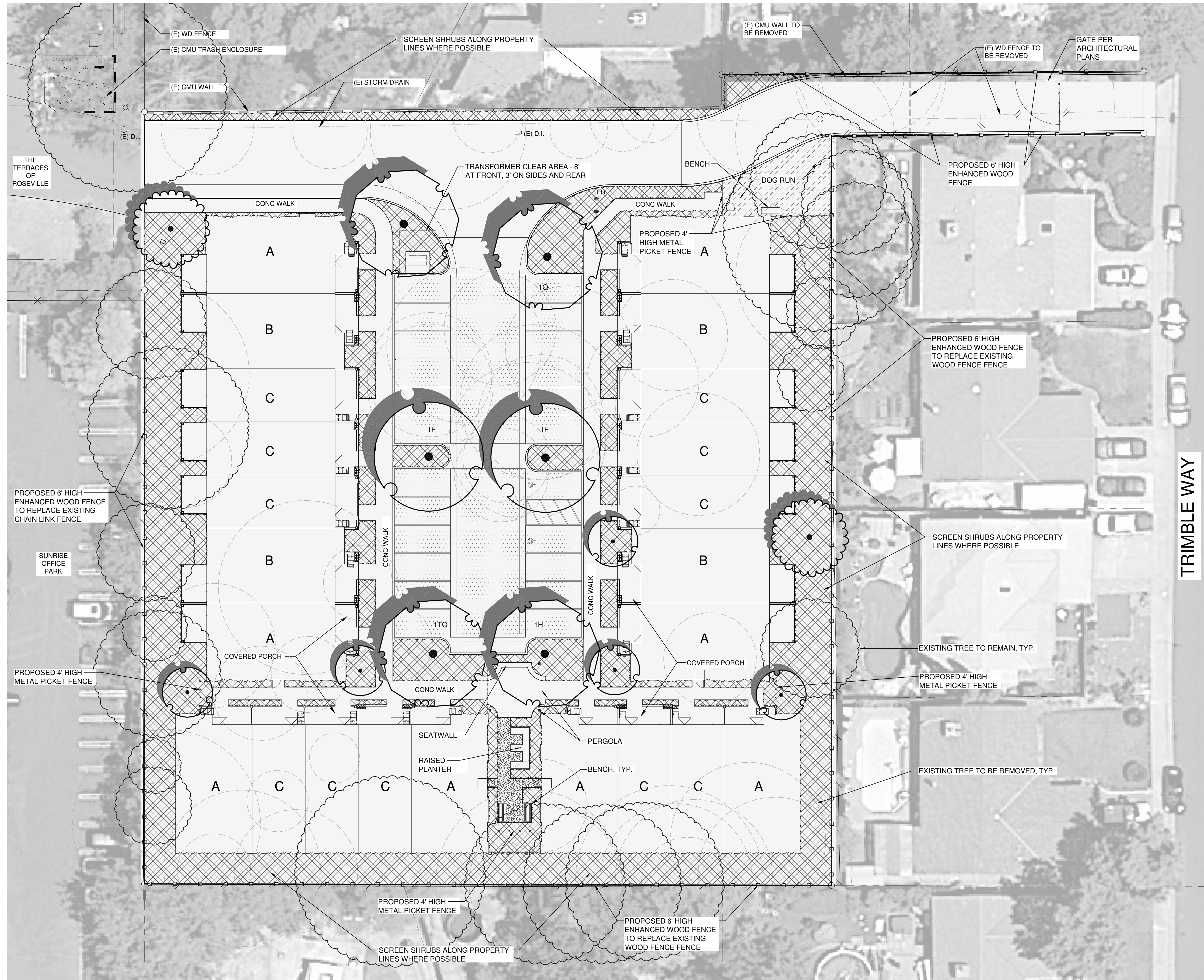
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**DINAPOLI CAPITAL PARTNERS**  
3021 CITRUS CIRCLE, STE 130  
WALNUT CREEK, CA 94598

**THE TERRACES OF ROSEVILLE**  
707 SUNRISE AVENUE  
ROSEVILLE, CA 95661

**PRELIMINARY STORMWATER QUALITY CONTROL PLAN**

Sheet **C5**  
6 of 6  
2/19/2025



NOTE - REFER TO SHEET L2 FOR PRELIMINARY PLANT PALETTE, PRELIMINARY DESIGN NOTES, PRELIMINARY WATER EFFICIENT LANDSCAPE WORKSHEET, PRELIMINARY PARKING LOT SHADE CALCULATION, AND PROPOSED FENCE DETAILS



# PRELIMINARY LANDSCAPE PLAN

L1 0' 8' 16' 32'



THE TERRACES OF ROSEVILLE  
707 SUNRISE AVE., ROSEVILLE, CA 95661 - APN# 470-010-045-000: 470-010-001-000

**D.C.P.** DINAPOLI CAPITAL PARTNERS  
3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CA

SCALE: 1/16" = 1'-0"  
JOB #: C-103-25  
DATE: 9-10-25

### PRELIMINARY WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (ETO): **52.2**

HYDROZONE # PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (SQ. FT.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU) IN GALLONS/YEAR
<b>REGULAR LANDSCAPE AREAS</b>							
MED. W.U.	0.5	DRIP	0.81	0.62	1,314	815	26,366
LOW W.U.	0.2	DRIP	0.81	0.25	10,985	2,746	88,880
TOTALS:					12,299	3,561	
<b>ETWU TOTAL:</b>							<b>115,246</b>
<b>MAXIMUM APPLIED WATER ALLOWANCE (MAWA):</b>							<b>179,120</b>
<b>MAXIMUM APPLIED WATER ALLOWANCE (MAWA)</b>							
WHERE MAWA = (ETO) (0.62) (ETAF x LA)							
MAWA: (52.2) (0.62) (0.45 x 12,299) = 179,120 GALLONS PER YEAR							
<b>ETAF CALCULATIONS</b>							
REGULAR LANDSCAPE AREAS							
NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS IS 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.							
TOTAL ETAF x AREA	3,561						
TOTAL AREA	12,299						
AVERAGE ETAF	0.29						

- ### PRELIMINARY DESIGN NOTES:
- ALL NEW LANDSCAPING WILL BE DESIGNED TO CONSIDER ROSEVILLE'S LANDSCAPE GUIDELINE REQUIREMENTS, THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE REQUIREMENTS, AND THE ELECTRICAL DEPARTMENT'S LANDSCAPE REQUIREMENTS AND WORK CLEARANCES, AS WELL AS THE STATE OF CALIFORNIA AB 1881 WATER USE ORDINANCE.
  - THE PRELIMINARY LANDSCAPE DESIGN IS BASED ON THE PRELIMINARY SITE DESIGN. DURING THE CONSTRUCTION DRAWINGS PHASE, COORDINATION WITH CHANGES TO THE SITE PLAN FROM ARCHITECTURAL AND ENGINEERING IMPROVEMENTS, INCLUDING SITE UTILITIES, MAY CAUSE CHANGES TO THE LANDSCAPE AREAS AND REQUIRE CHANGES TO THIS PROPOSED DESIGN.
  - SEE PLAN AND ARBORIST'S REPORT DATED FEBRUARY 20, 2025 BY FOCAL POINT ARBORICULTURE CONSULTING FOR EXISTING TREES ON AND IMMEDIATELY ADJACENT TO THE PROJECT SITE AND TREES TO REMAIN AND TO BE REMOVED.
  - DURING THE CONSTRUCTION DOCUMENTS PHASE, AN IRRIGATION PLAN WILL BE PROVIDED THAT WILL IRRIGATE THE PLANTING AREAS WITH AN AUTOMATIC IRRIGATION SYSTEM USING LOW FLOW DRIP AND BUBBLER IRRIGATION SYSTEMS. WHERE POSSIBLE, THE TREES WILL BE ON AN INDEPENDENT IRRIGATION VALVE SEPARATE FROM SHRUB AND GROUND COVER AREAS.
  - SUBSURFACE DRIPLINE IRRIGATION SHALL BE USED TO PREVENT RUN-OFF.
  - SCREENING SHRUBS SHALL BE USED WHERE POSSIBLE ALONG PROPERTY LINES.
  - PLANTING BED SOIL SHALL BE AMENDED TO CORRECT IN-PLACE SOIL DEFICIENCIES TO SUPPORT THE NEEDS OF THE SPECIFIED PLANTS PER THE SOILS REPORT PROVIDED FOR DURING THE CONSTRUCTION DOCUMENTS PHASE.
  - ALL SHRUB BEDS SHALL HAVE A THREE-INCH LAYER OF BARK MULCH DRESSING (NOT SHREDDED).
  - REFER TO THE ARCHITECTURAL AND CIVIL ENGINEERING PLANS FOR ADDITIONAL SITE DESIGN AND IMPROVEMENTS.

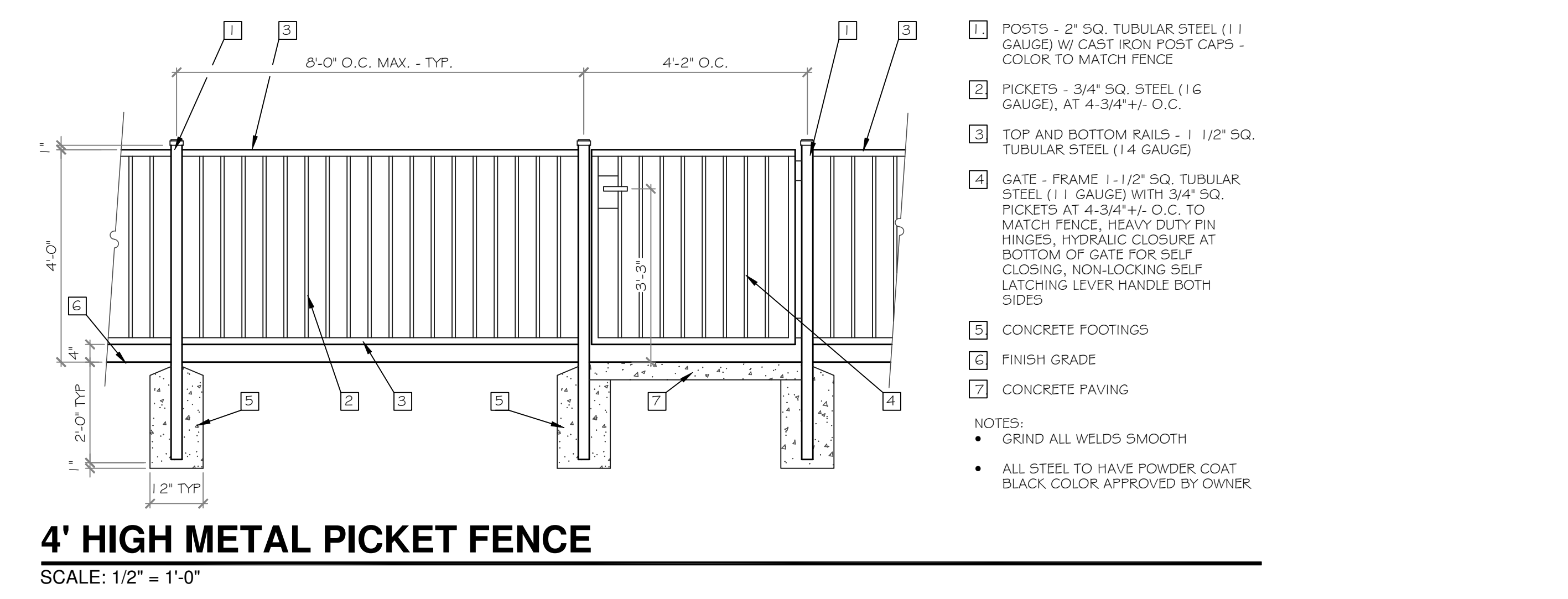
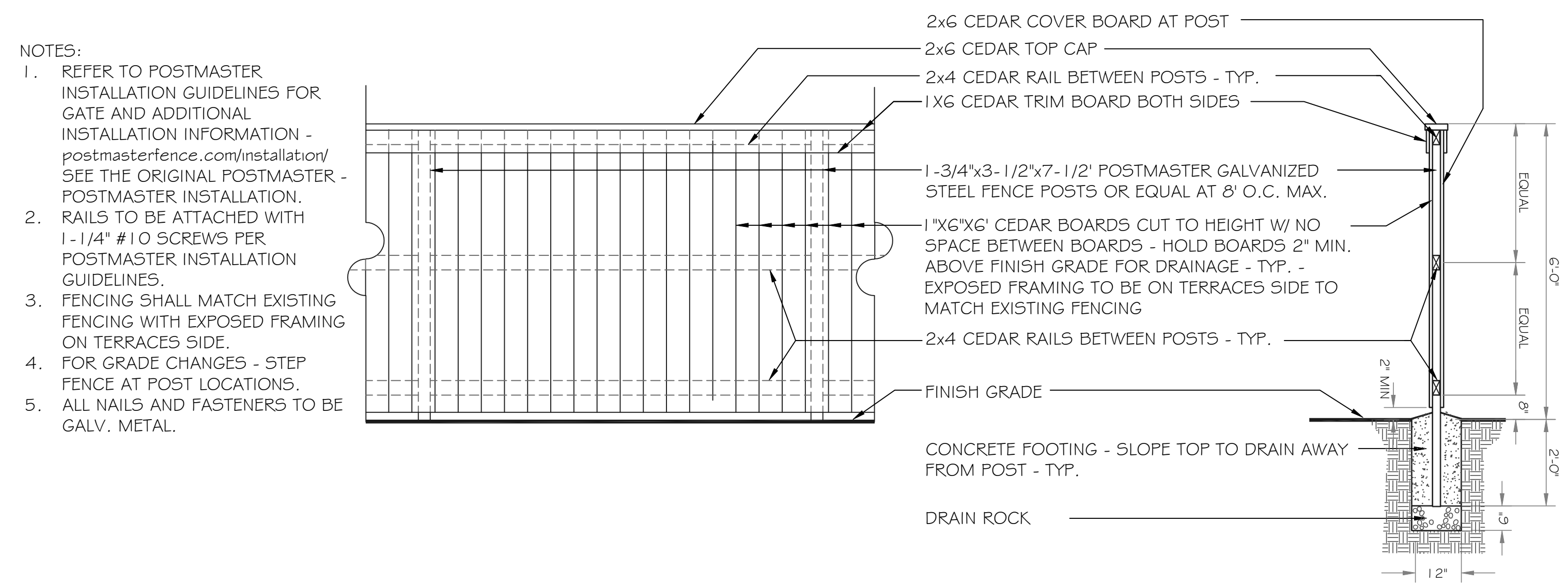
### PRELIMINARY PLANT PALETTE

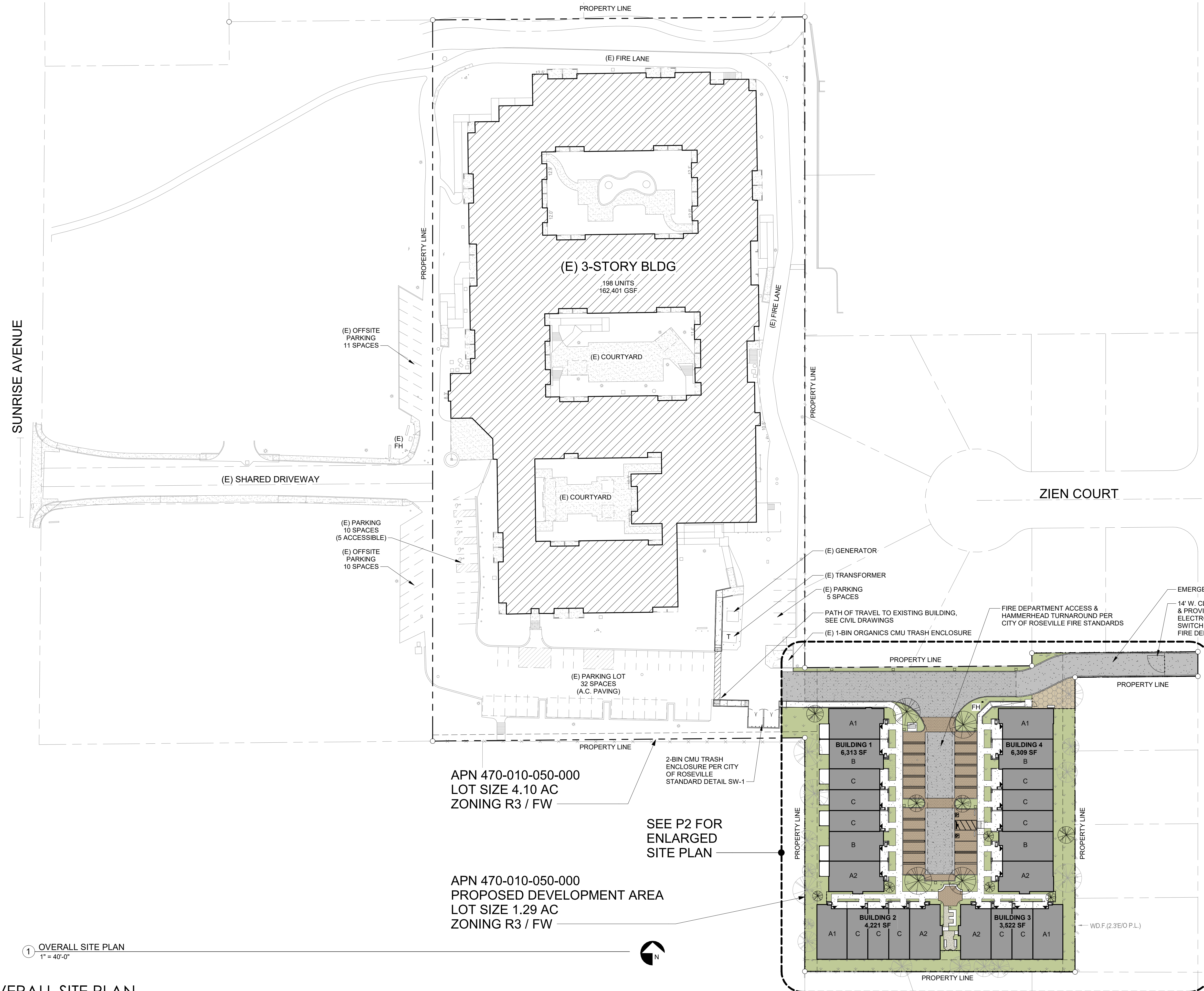
SYMBOL	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	MATURE SIZE	QTY	REMARKS
<b>TREES</b>							
	<i>Acer palmatum</i> 'Bloodgood'	Red Japanese Maple	15 gal	Medium	Ht: 12-18'/Sp: 12-18'	6	Standard - Tree Form
	<i>Acer rubrum</i> 'October Glory'	October Glory Maple	15 gal	Medium	Ht: 40'/Sp: 35'	4	
	<i>Elaeocarpus decipiens</i>	Japanese Blueberry Tree	15 gal	Medium	Ht: 30-60'/Sp: 20-30'	2	Standard - Tree Form
	<i>Pistacia chinensis</i>	Chinese Pistache	15 gal	Low	Ht: 40'/Sp: 40'	2	
<b>SHRUB BED</b>							
	<b>SHRUBS</b>	<b>COMMON NAME</b>	<b>CONT</b>	<b>WATER USE</b>	<b>MATURE SIZE</b>		
	<i>Abelia x grandiflora</i> 'Kaleidoscope'	Glossy Abelia	5 gal	Medium	Ht: 2-3'/Sp: 3-4'		
	<i>Arbutus unedo</i> 'Compacta'	Dwarf Strawberry Tree	5 gal	Low	Ht: 6'/Sp: 10'		
	<i>Asparagus densiflorus</i> 'Myers'	Myers Asparagus	5 gal	Medium	Ht: 2'/Sp: 2'		
	<i>Aucuba japonica</i> 'Picturata'	Gold Leaf Aucuba	5 gal	Medium	Ht: 4-6'/Sp: 4-6'		
	<i>Azalea Southern Indica</i> 'Duc de Rohan'	Duc de Rohan	5 gal	Medium	Ht: 4'/Sp: 4'		
	<i>Cistus x purpureus</i>	Orchid Rockrose	5 gal	Low	Ht: 4'/Sp: 4'		
	<i>Cotinus coggygria</i> 'Royal Purple'	Royal Purple Smoke Tree	5 gal	Low	Ht: 12' +/- Sp: 12' +/-		
	<i>Cotoneaster lacteus</i>	Red Clusterberry Cotoneaster	5 gal	Low	Ht: 8'/Sp: 10'		
	<i>Dianella revoluta</i> 'Little Rev'	Little Rev Flax Lily	5 gal	Low	Ht: 30'/Sp: 18'		
	<i>Dietes bicolor</i>	Fortnight Lily	5 gal	Low	Ht: 4'/Sp: 4'		
	<i>Dietes vegeta</i>	African Lily	5 gal	Low	Ht: 4'/Sp: 4'		
	<i>Euonymus japonicus</i> 'Green Spire'	Green Spire Euonymus	5 gal	Low	Ht: 6'/Sp: 2'		
	<i>Euryops pectinatus</i> 'Munchkin'	Dwarf Euryops	5 gal	Low	Ht: 4'/Sp: 4'		
	<i>Grevillea x 'Noelle'</i>	Grevillea	5 gal	Low	Ht: 4'/Sp: 5'		
	<i>Juniperus chinensis</i> 'Spartan'	Spartan Juniper	5 gal	Low	Ht: 15'/Sp: 4'		
	<i>Kniphofia uvana</i> 'Flamenco'	Flamenco Red Hot Poker	5 gal	Low	Ht: 3-4'/Sp: 3-4'		
	<i>Leymus condensatus</i> 'Canyon Prince'	Native Blue Rye	5 gal	Low	Ht: 3'/Sp: 3'		
	<i>Lomandra longifolia</i> 'Lime Tough'	Dwarf Mat Rush	5 gal	Low	Ht: 30'/Sp: 30'		
	<i>Myrsine africana</i>	African Boxwood	5 gal	Low	Ht: 6'/Sp: 4'		
	<i>Myrtus communis</i> 'Compacta'	Dwarf Myrtle	5 gal	Low	Ht: 3'/Sp: 3'		
	<i>Nandina domestica</i>	Heavenly Bamboo	5 gal	Low	Ht: 6'/Sp: 3'		
	<i>Nandina domestica</i> 'Compacta'	Dwarf Heavenly Bamboo	5 gal	Low	Ht: 5'/Sp: 3'		
	<i>Nerium oleander</i> 'Little Red'	Little Red Oleander	5 gal	Low	Ht: 3-4'/Sp: 3-4'		
	<i>Phormium tenax</i> 'Amazing Red'	Dwarf Red Flax	5 gal	Low	Ht: 24'/Sp: 24'		
	<i>Phormium tenax</i> 'Atrorubrum Compactum'	Purple New Zealand Flax	5 gal	Low	Ht: 5'/Sp: 5'		
	<i>Rhaphiolepis umbellata</i> 'Minor'	Dwarf Yedda Hawthorne Standard	5 gal	Low	Ht: 4'/Sp: 4'		
	<i>Rosa x 'Radtkopink'</i>	Pink Double Knock Out Rose	5 gal	Low	Ht: 3-4'/Sp: 3-4'		
	<i>Rosmarinus officinalis</i> 'Huntington Carpet'	Huntington Carpet Rosemary	5 gal	Low	Ht: 6'/Sp: 3'		
	<i>Xylosma congestum</i> 'Compacta'	Compact Xylosma	5 gal	Low	Ht: 6-8'/Sp: 6-8'		
<b>VINES</b>							
	<i>Maccladyena unguis-cati</i>	Cat's Claw Creeper	5 gal	Low	Ht: 30'/Sp: 30'		
<b>BOTANICAL NAME</b>							
<b>COMMON NAME</b>							
<b>CONT</b>							
<b>WATER USE</b>							
<b>MATURE SIZE</b>							
<b>SPACING</b>							
<b>GROUND COVERS</b>							
	<i>Coreopsis auriculata</i> 'Nana'	Dwarf Lobed Tickseed	1 gal	Low	Ht: 6-7' Ø		24" o.c.
	<i>Cotoneaster dammen</i> 'Lowfast'	Lowfast Bearberry Cotoneaster	1 gal	Low	Ht: 8'/Sp: 10'		72" o.c.
	<i>Myoporum parvifolium</i> 'Prostratum'	Myoporum	1 gal	Low	Ht: 6'/Sp: 6'		72" o.c.
	<i>Rosa x 'Meigalpi'</i>	Red Dnt® Groundcover Rose	1 gal	Low	Ht: 2'/Sp: 5'		36" o.c.
	<i>Rosmarinus officinalis</i> 'Huntington Carpet'	Huntington Carpet Rosemary	1 gal	Low	Ht: 18'/Sp: 6'		60" o.c.
	<i>Verbena x hybrida</i> 'Homestead'	Purple Spreader Garden Verbena	1 gal	Low	Ht: 8'/Sp: 18'		30" o.c.
<b>DOG RUN AREA</b>							
	Bark dressing	Bark Dressing	-				
<b>PATHWAY GRAVEL</b>							
	Pathway Gravel	Decomposed Granite or Pathway Rock					

NOTE: PLANT WATER USE VALUES ARE PER THE "WATER USE CLASSIFICATION OF LANDSCAPE SPECIES" (WUCOLS)

### PRELIMINARY PARKING LOT SHADE CALCULATION

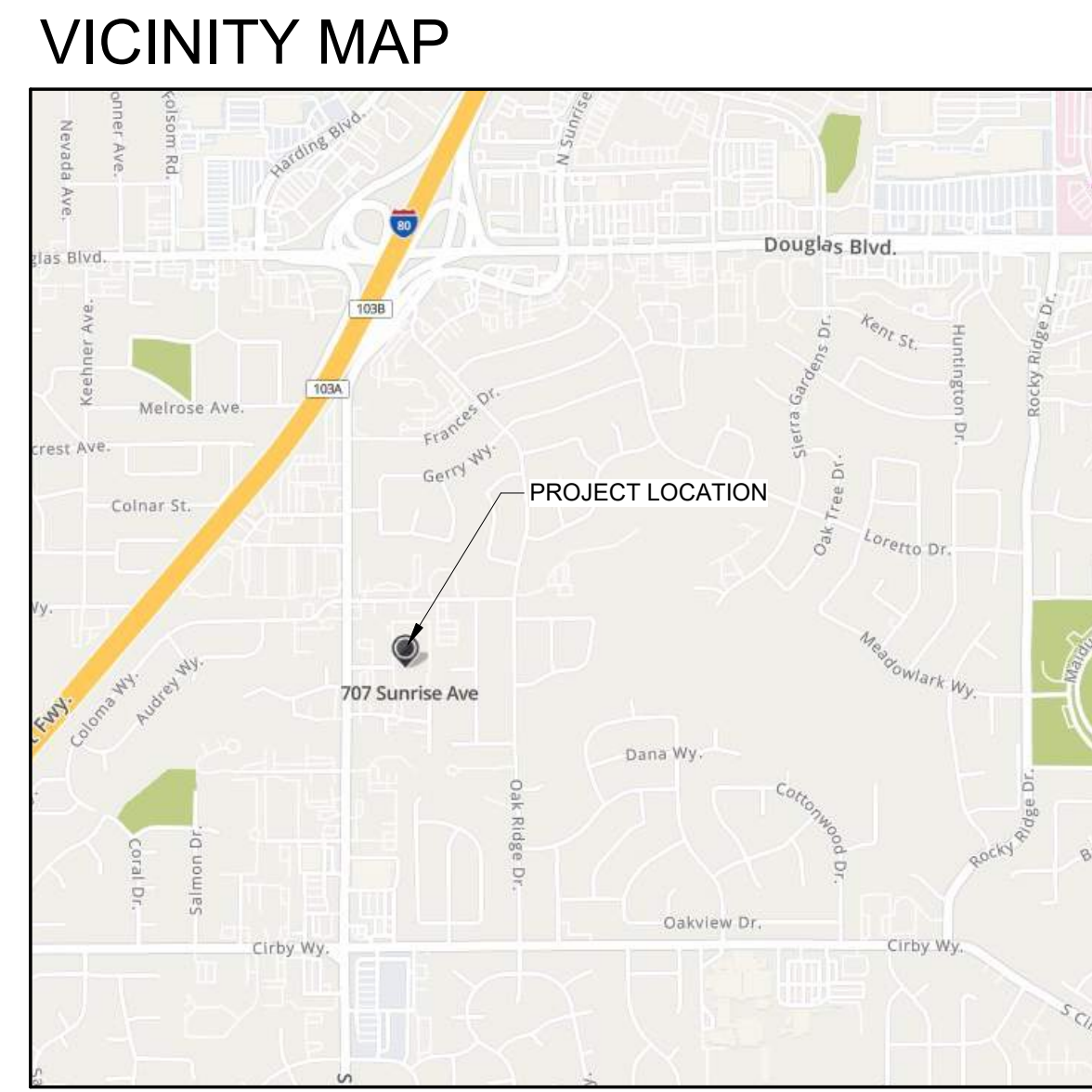
TREE NUMBER AND SIZE TREE NAME	QUANTITY @ FULL (100%) F	QUANTITY @ 3/4 (75%) TQ	QUANTITY @ 1/2 (50%) H	QUANTITY @ 1/4 (25%) Q	TOTAL SQ. FT.
1 - 30' PLUS SPREAD ACER RUBRUM, PISTACIA	2 x (962) = 1,924	+ 1 x (722) = 722	+ 1 x (481) = 481	+ 1 x (240) = 240	= 3,367
2 - 25' TO 30' SPREAD	0 x (706) = 0	+ 0 x (530) = 0	+ 0 x (354) = 0	+ 0 x (177) = 0	= 0
3 - 20' TO 25' SPREAD	0 x (491) = 0	+ 0 x (368) = 0	+ 0 x (246) = 0	+ 0 x (123) = 0	= 0
4 - 15' TO 20' SPREAD	0 x (314) = 0	+ 0 x (236) = 0	+ 0 x (157) = 0	+ 0 x (79) = 0	= 0
<b>CALCULATED TOTAL TREE SHADE:</b>					<b>3,367</b>
<b>REQUIRED TOTAL</b>					
AREA OF PAVING (SHADED ON PLAN)	6,440 SQ. FT. OF SHADED AREA ON PLAN				
AREA REQUIRED TO BE SHADED	6,440 SQ. FT. x 50% = <b>3,220</b>				
CALCULATED SHADE PROVIDED	3,367 SQ. FT.				
PERCENT SHADE PROVIDED	<b>52 %</b>				
SEE PLAN FOR TREE SHADE CREDIT. EXAMPLE: 2H IS A 25' TO 30' PERIMETER (50%) TREE.					





### SITE DATA

ADDRESS	707 SUNRISE AVENUE, ROSEVILLE, CA 95661	
APN #	470-010-050-000	
ZONING	R3 - MULTIFAMILY HOUSING / FW - FLOODWAY ZONE	
GENERAL PLAN USE	HDR (HIGH DENSITY RESIDENTIAL) LONG TERM CARE FACILITY (CONDITIONAL USE)	
SITE AREA	5.39 AC OVERALL 1.29 AC (PROPOSED DEVELOPMENT AREA)	
ALLOWABLE DENSITY	13 DU / ACRE (MIN)	
ALLOWABLE HEIGHT	45'-0"	
PROPOSED HEIGHT	1 STORY / 19'-0"	
EXISTING BUILDING	162,401 SF - 198 UNITS	
EXISTING USE	VACANT LAND	
PROPOSED USE	INDEPENDENT LIVING COTTAGES (MFR)	
UNITS PROPOSED	23	
<b>LOT COVERAGE SUMMARY</b>		
SITE AREA	57,026 SF	
BUILDING 1 AREA	6,313 SF	
BUILDING 2 AREA	4,221 SF	
BUILDING 3 AREA	3,522 SF	
BUILDING 4 AREA	6,309 SF	
TOTAL BLDG AREA	20,365 SF	
(SEE BUILDING AREA ANALYSIS ON SHEET P2)		
LOT COVERAGE	35.7% (50% MAX)	
<b>SETBACKS:</b>		
	<b>PRESCRIBED</b>	<b>PROPOSED</b>
FRONT	20'-0"	NO DEVIATION
STREET SIDE	5'-0"	NO DEVIATION
SIDE	20'-0"	10'-0"
REAR	20'-0"	10'-0"
<b>PARKING SUMMARY</b>		
(68) EXISTING SPACES TO REMAIN, SERVING EXISTING BUILDING:		
	63 STANDARD SPACES	
	5 ACCESSIBLE SPACES	
(23) ADDITIONAL PROPOSED SPACES, SERVING NEW BUILDINGS. EACH NEW SPACE INCLUDES LOW POWER LEVEL 2 ELECTRIC VEHICLE CHARGING RECEPTACLE:		
	21 STANDARD SPACES	
	2 ACCESSIBLE SPACES	
TOTAL ON SITE	91 PARKING SPACES	



1 OVERALL SITE PLAN  
1" = 40'-0"

APN 470-010-050-000  
LOT SIZE 4.10 AC  
ZONING R3 / FW

SEE P2 FOR ENLARGED SITE PLAN

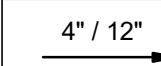
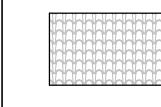

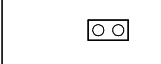
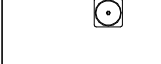


APN 470-010-050-000  
PROPOSED DEVELOPMENT AREA  
LOT SIZE 1.29 AC  
ZONING R3 / FW

OVERALL SITE PLAN

<p>4132 C STREET SACRAMENTO, CA 95819 916.440.6765 ellis-architects.com</p>	<p><b>INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE</b></p> <p>707 SUNRISE AVE ROSEVILLE, CALIFORNIA 95661</p> <p>APN# 470-010-050-000</p>	<p>OWNER: <b>DINAPOLI CAPITAL PARTNERS</b></p> <p>3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA</p>	<p>02.20.26</p> <p>SHEET NO.</p> <p><b>P1</b></p>
	<p>© 2026 ELLIS ARCHITECTS, INC.</p>		

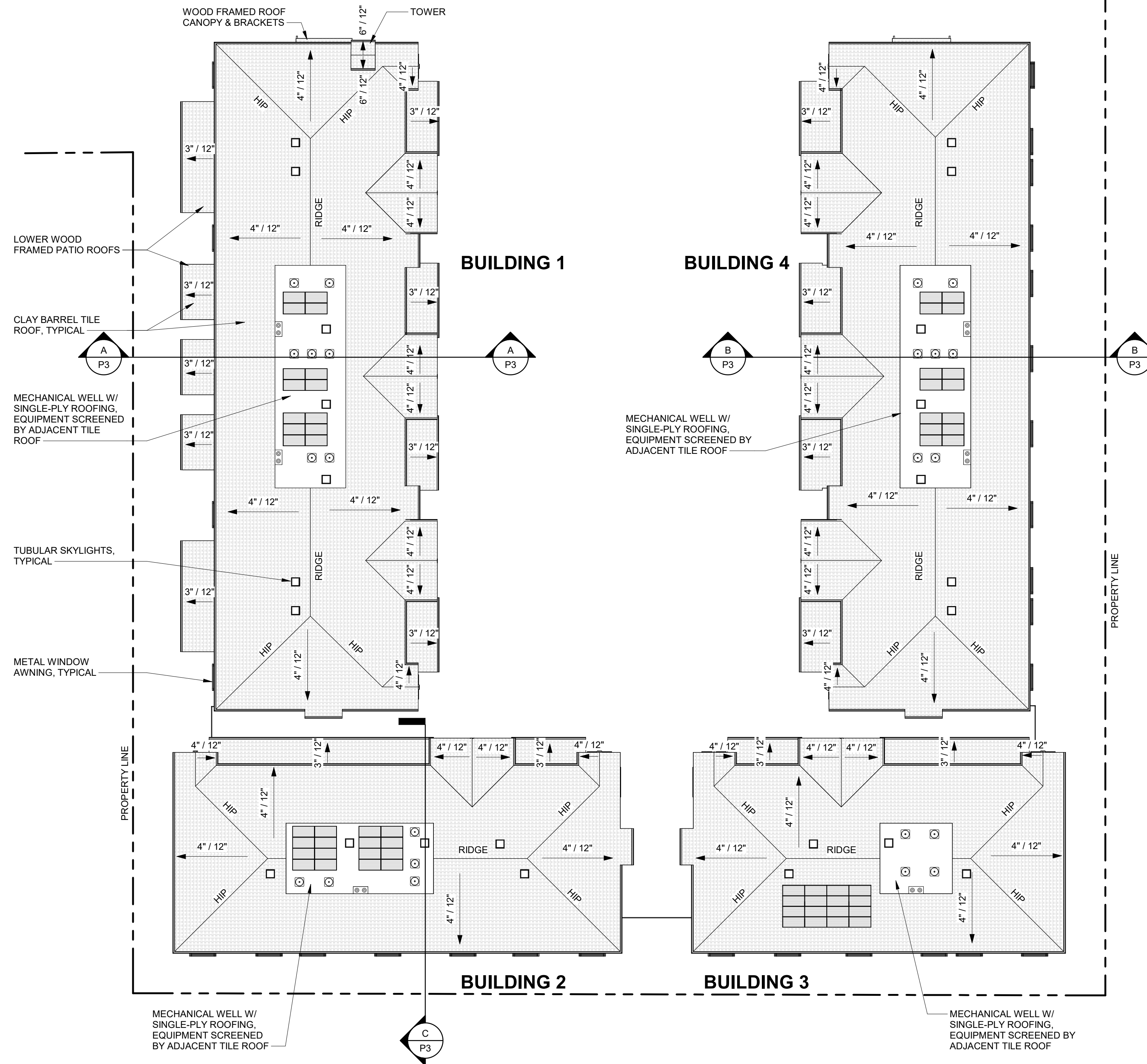


**ROOF PLAN LEGEND**

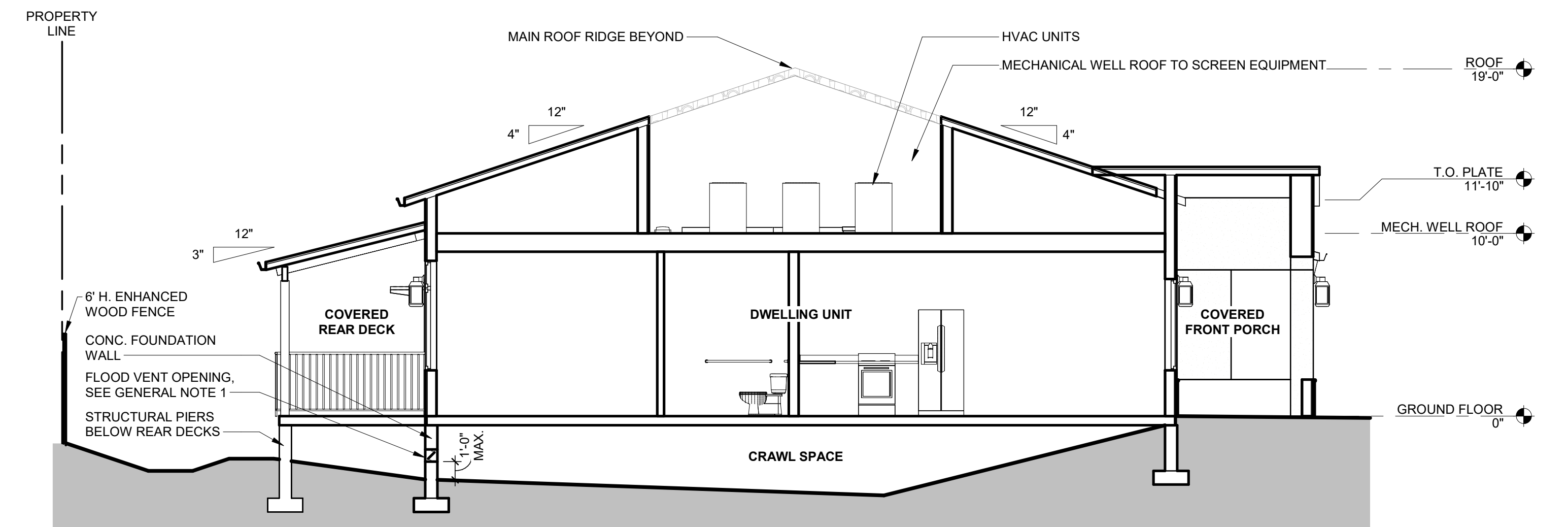
-  ROOF SLOPE
-  CLAY BARREL TILE ROOF - MFR: EAGLE ROOFING, COLOR: CAPISTRANO TILE, VALENCIA
-  SINGLE-PLY ROOF, SLOPED 1/4" / 12" TO ROOF DRAINS
-  ROOF DRAIN & OVERFLOW
-  MECHANICAL UNIT W/ CURB AND CRICKET
-  TUBULAR SKYLIGHT
-  PRELIMINARY SOLAR PANEL LOCATION

**GENERAL NOTES**

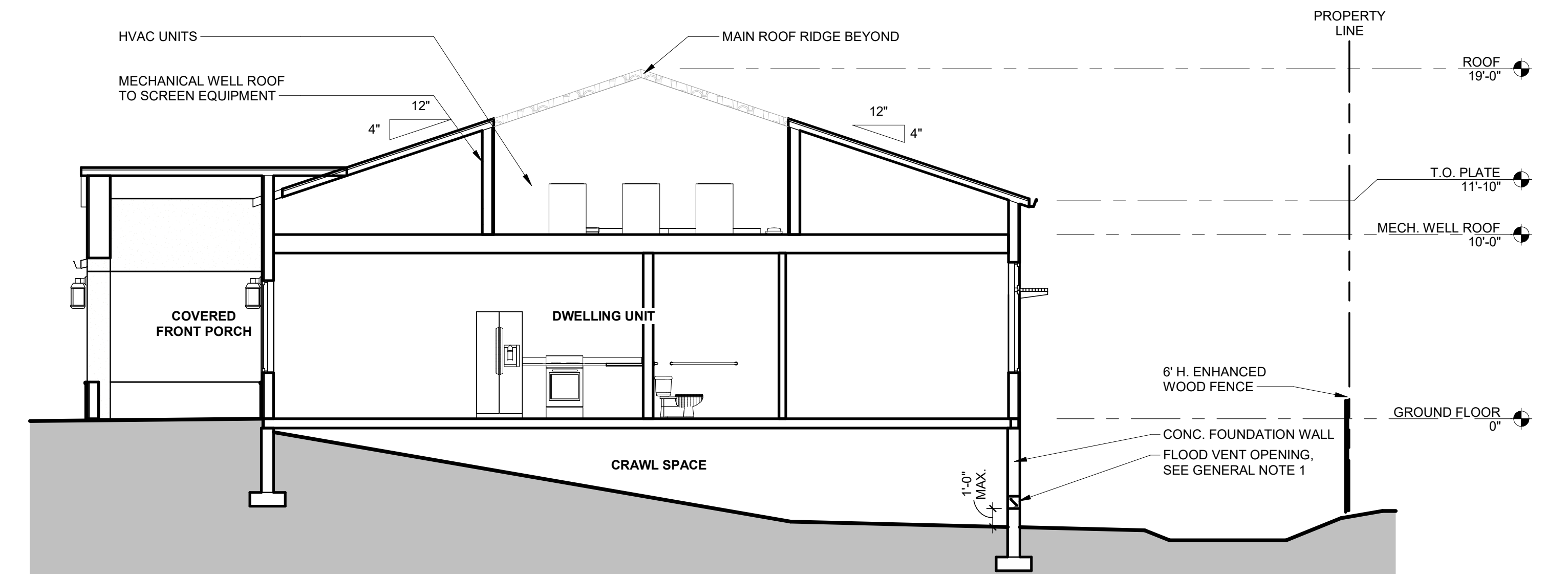
1. ENCLOSED AREAS BELOW THE LOWEST FLOOR (INCLUDING PATIO) THAT ARE SUBJECT TO FLOODING SHALL BE DESIGNED WITH A MINIMUM OF TWO OPENINGS HAVING A TOTAL NET AREA OF NOT LESS THAN ONE SQUARE INCH FOR EVERY SQUARE FOOT OF ENCLOSED AREA SUBJECT TO FLOODING. THE BOTTOM OF ALL OPENINGS SHALL BE NO HIGHER THAN ONE FOOT ABOVE LOWEST GRADE. OPENINGS MAY BE EQUIPPED WITH SCREENS, LOUVERS, OR OTHER COVERINGS OR DEVICES PROVIDED THAT THEY PERMIT THE AUTOMATIC ENTRY AND EXIT OF FLOOD WATERS.
2. ALL BUILDING MATERIALS LOWER THAN 2 FEET ABOVE THE BASE FLOOD ELEVATION (ELEVATION 142.0) SHALL BE RESISTANT TO FLOOD DAMAGE AND BUILDING MATERIALS SHALL BE APPROVED BY THE CITY OF ROSEVILLE PRIOR TO THE START OF CONSTRUCTION.
3. ALL EQUIPMENT AND MACHINERY MUST BE ELEVATED AT LEAST 2 FEET ABOVE THE BASE FLOOD ELEVATION (ELEVATION 142.0).
4. THE PROPOSED BUILDING SHALL BE ADEQUATELY ANCHORED TO PREVENT FLOTATION, COLLAPSE, OR LATERAL MOVEMENT OF THE STRUCTURE RESULTING FROM HYDRODYNAMIC AND HYDROSTATIC LOADS, INCLUDING THE EFFECTS OF BUOYANCY.
5. UPON THE COMPLETION OF THE STRUCTURE, THE ELEVATION OF THE LOWEST FLOOR, INCLUDING BASEMENT AND SUPPORT EQUIPMENT, SHALL BE CERTIFIED BY SUBMITTAL OF THE CURRENT VERSION OF A FEMA ELEVATION CERTIFICATE BY A REGISTERED PROFESSIONAL ENGINEER OR A LICENSED LAND SURVEYOR, AND VERIFIED BY THE FLOODPLAIN ADMINISTRATOR.



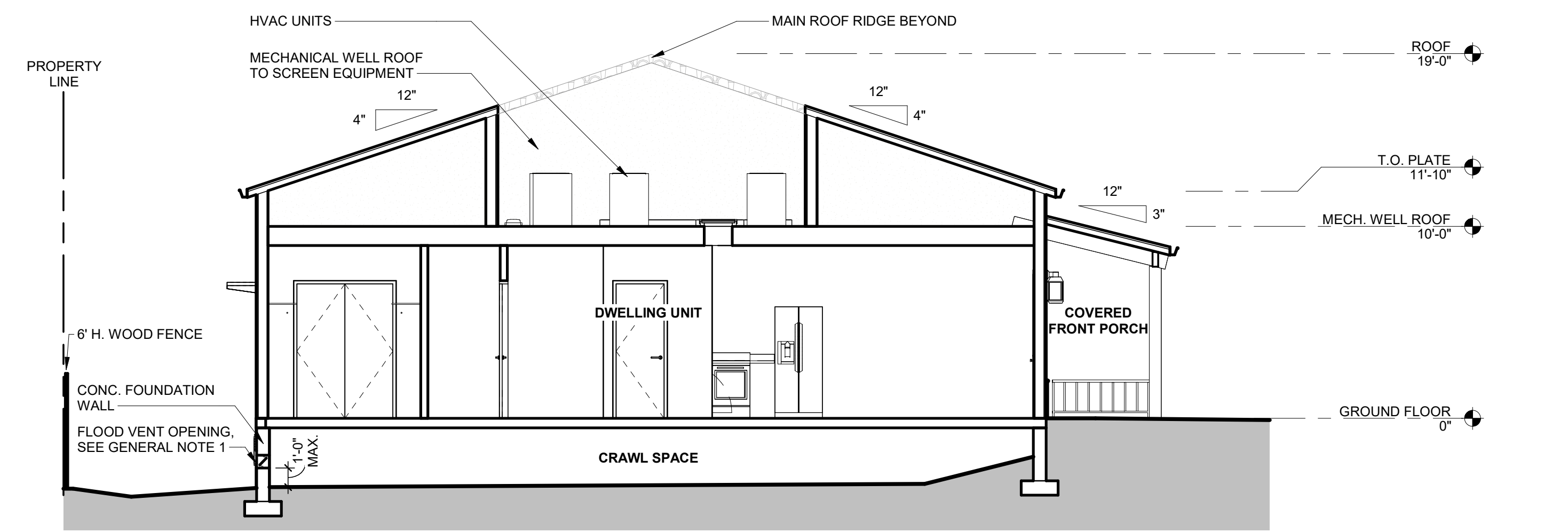
1 ROOF PLAN  
1/16" = 1'-0"



A CROSS SECTION A (REF. CIVIL CROSS SECTION A)  
3/16" = 1'-0"



B CROSS SECTION B (REF. CIVIL CROSS SECTION B)  
3/16" = 1'-0"



C CROSS SECTION C (REF. CIVIL CROSS SECTION C)  
3/16" = 1'-0"

**ROOF PLAN & CROSS SECTIONS**



**INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE**

707 SUNRISE AVE  
ROSEVILLE, CALIFORNIA 95661

APN# 470-010-050-000

OWNER:  
**DINAPOLI CAPITAL PARTNERS**

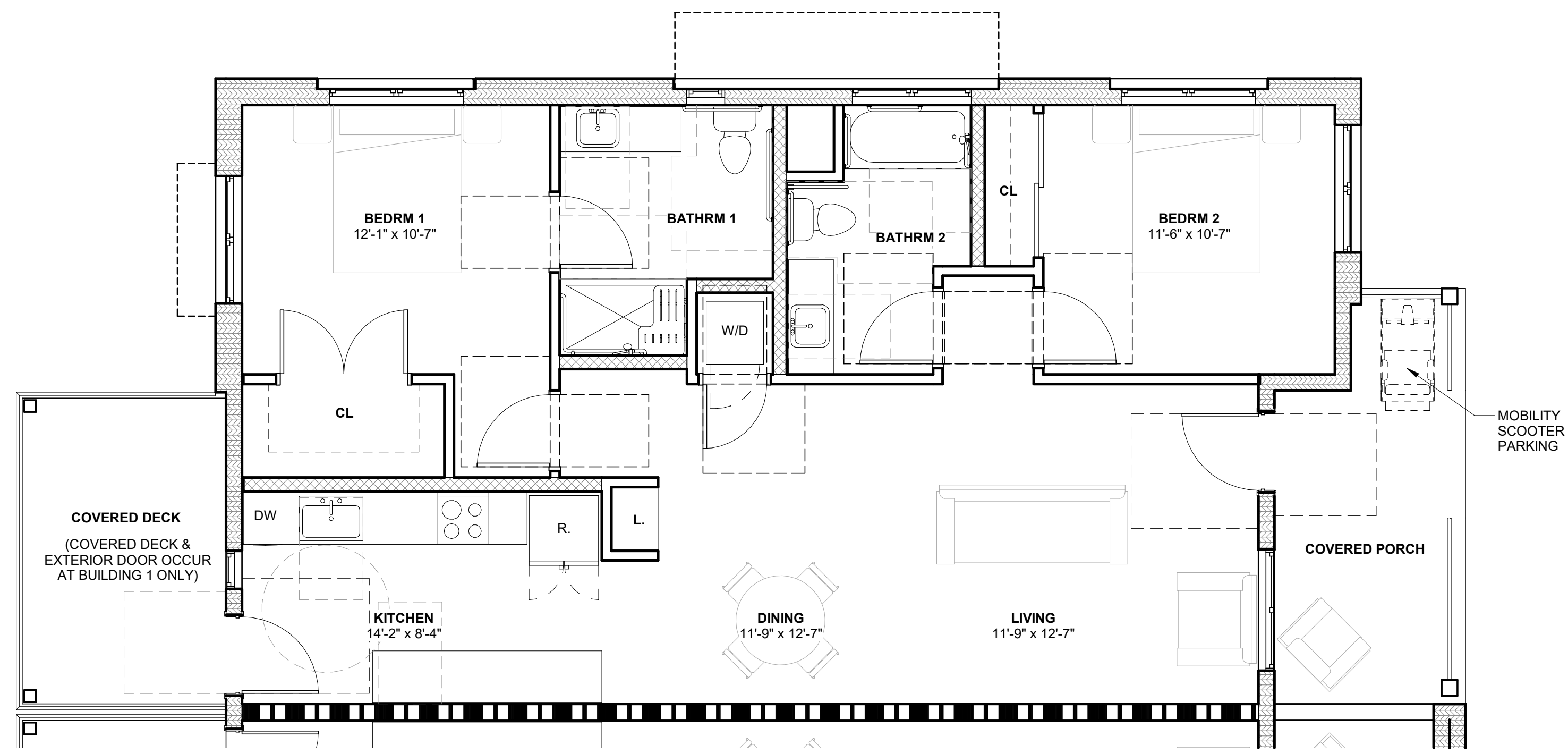
3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA

0' 8' 16' 32'

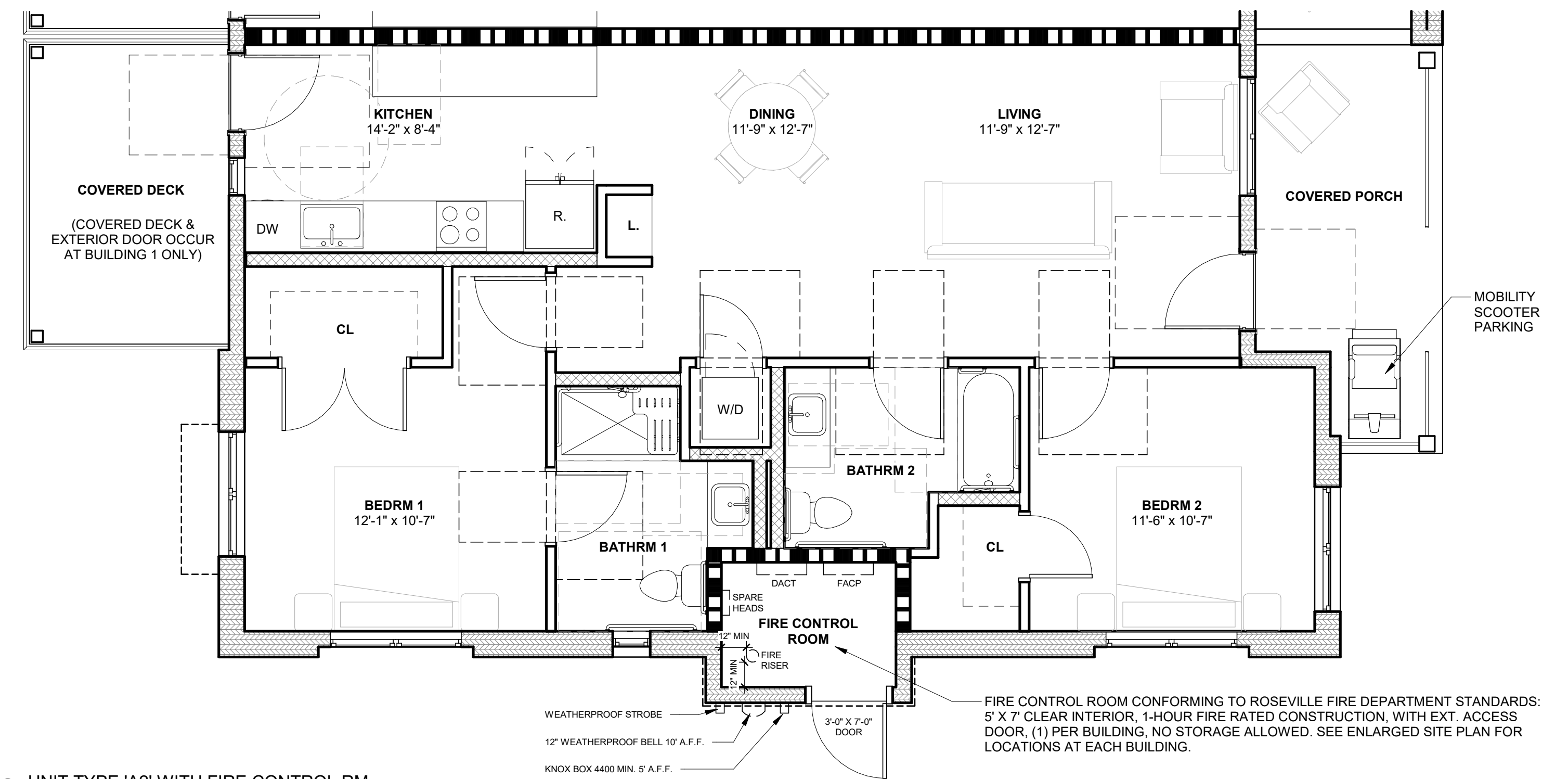
02.20.26

SHEET NO.

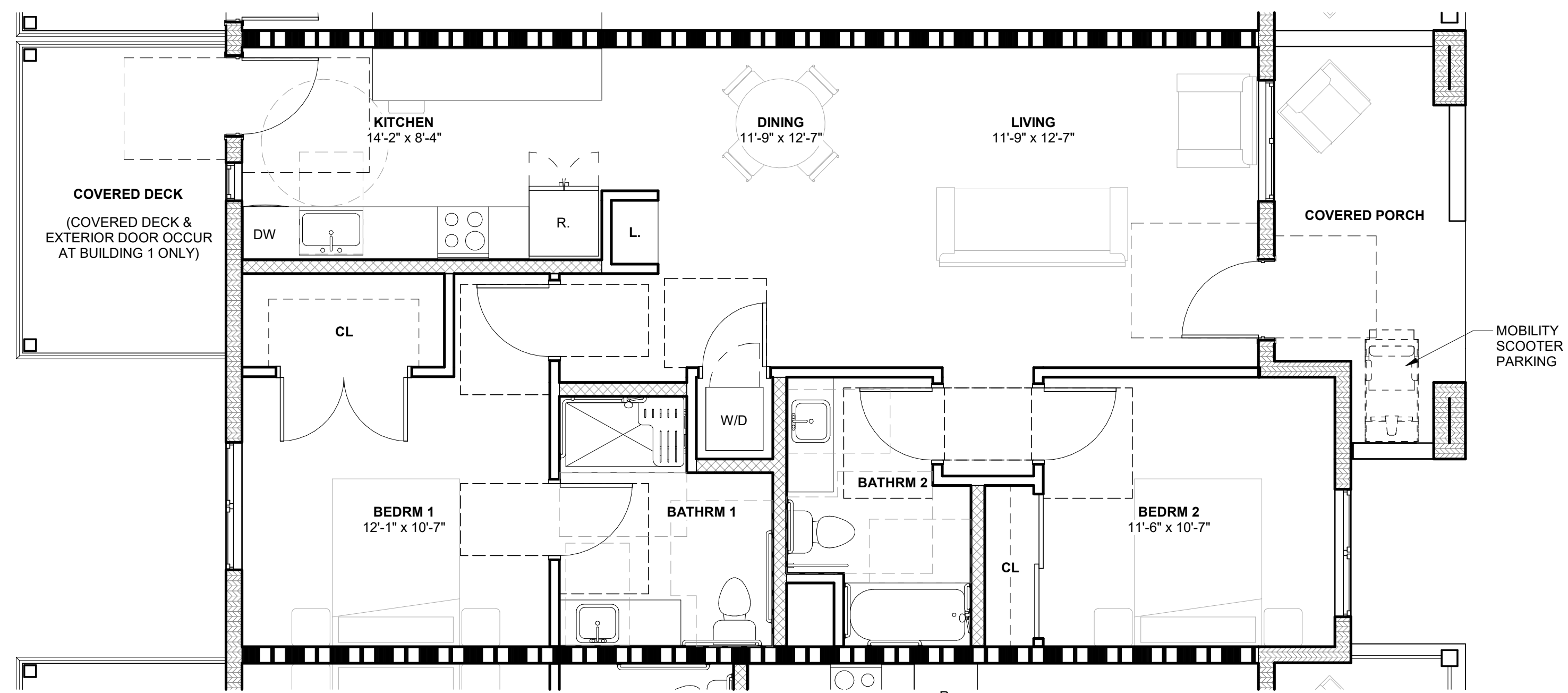
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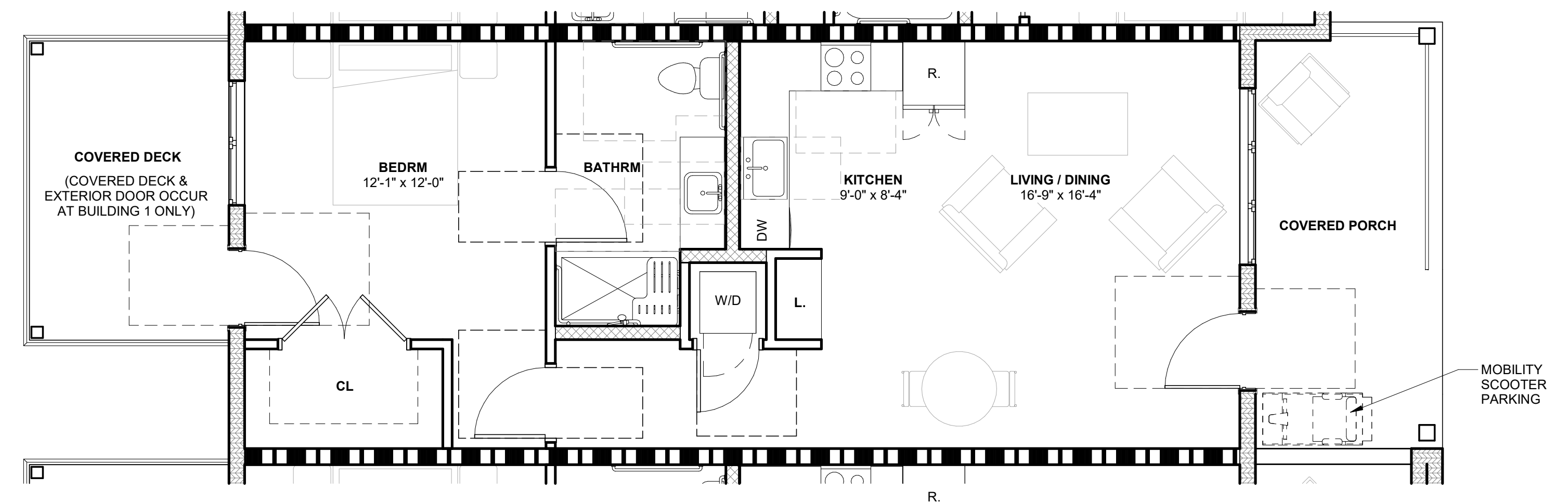
① UNIT TYPE 'A1'  
1/4" = 1'-0"



② UNIT TYPE 'A2' WITH FIRE CONTROL RM  
1/4" = 1'-0"

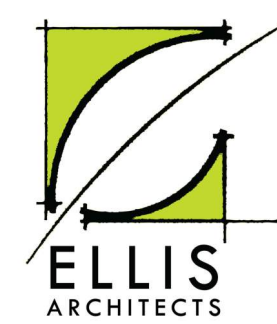


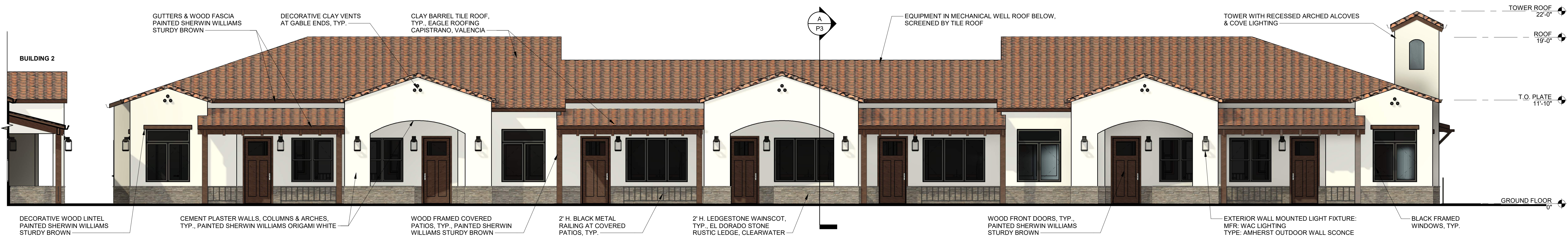
③ UNIT TYPE 'B'  
1/4" = 1'-0"



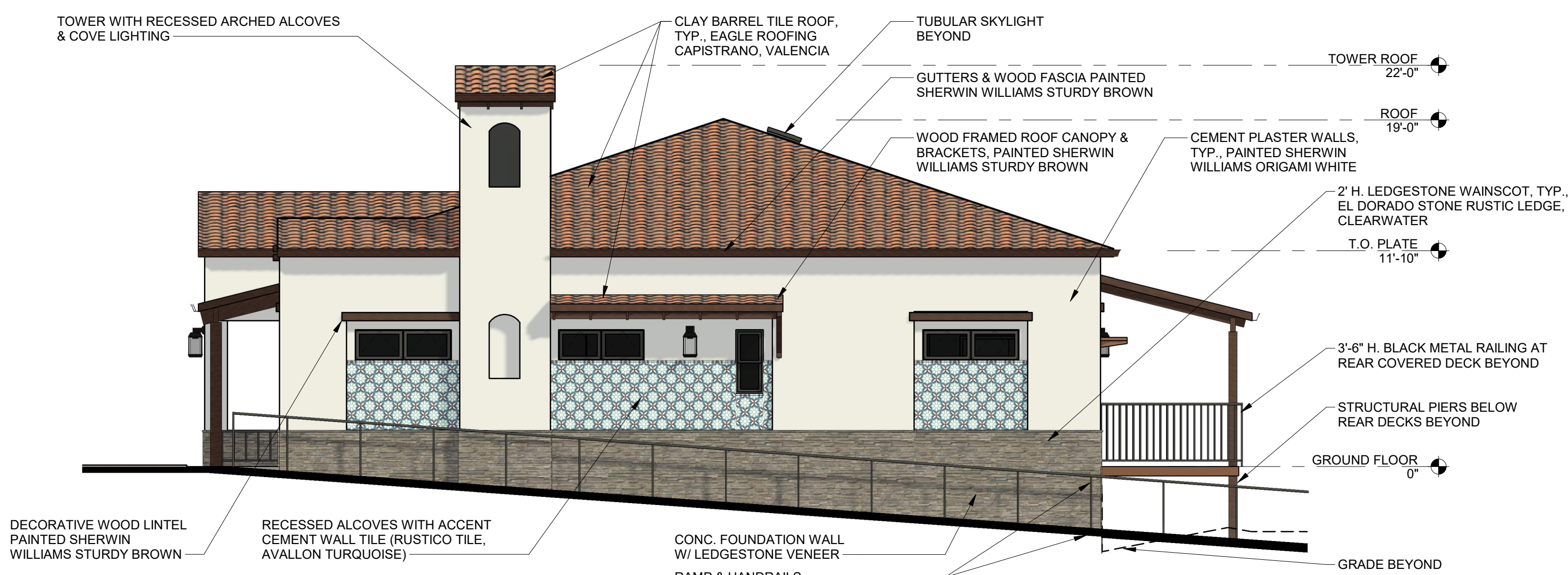
④ UNIT TYPE 'C'  
1/4" = 1'-0"

UNIT FLOOR PLANS

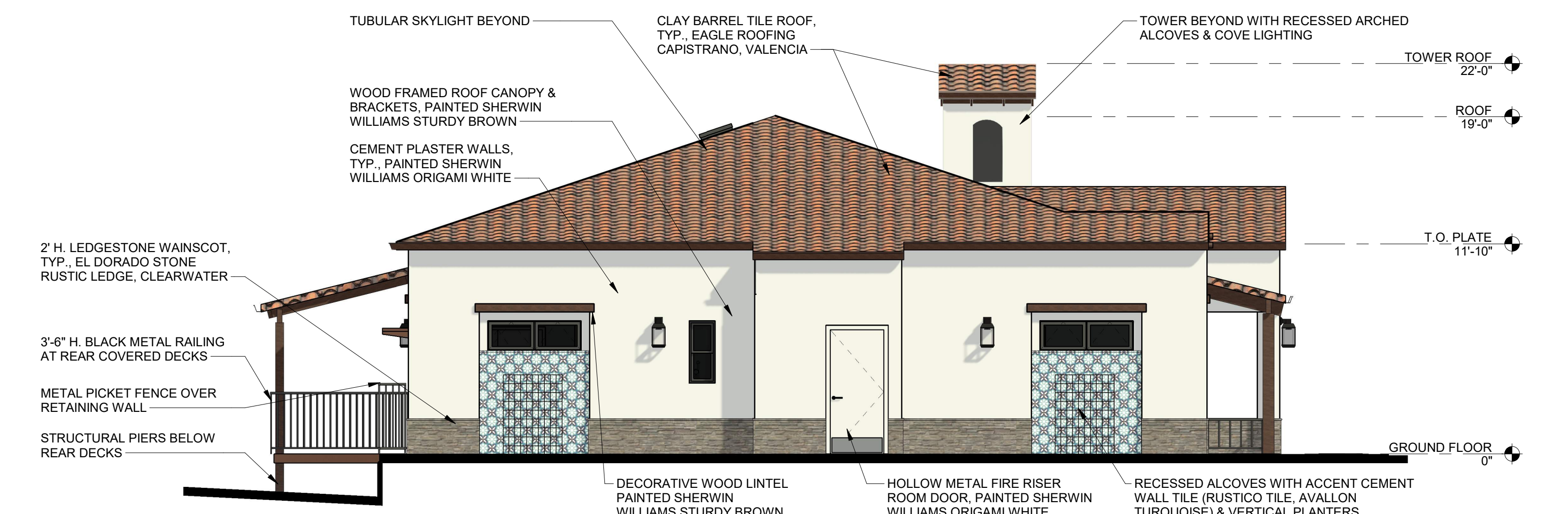
 <p> <b>INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE</b>          707 SUNRISE AVE          ROSEVILLE, CALIFORNIA 95661          APN# 470-010-050-000       </p>	<p>OWNER: <b>DINAPOLI CAPITAL PARTNERS</b></p> <p>3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA</p>	<p>0 2 4 8'</p>	02.20.26
			SHEET NO. <b>P4</b>



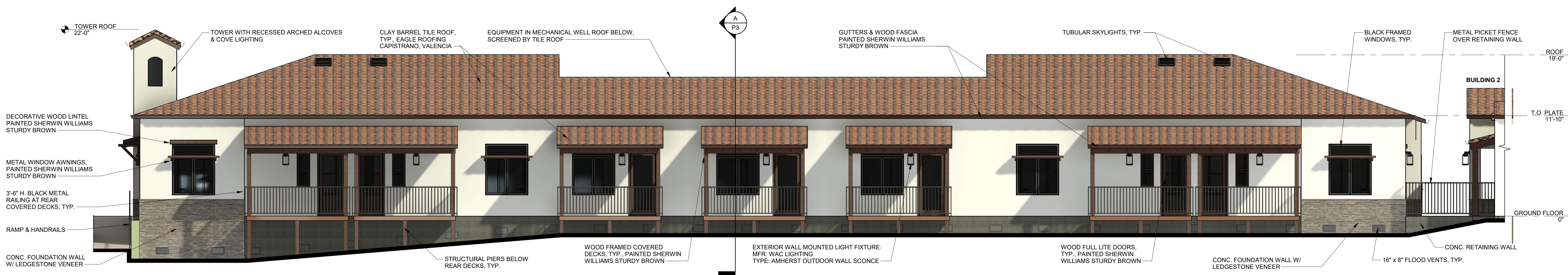
1 BLDG 1 - FRONT (EAST) ELEVATION  
3/16" = 1'-0"



2 BLDG 1 - SIDE (NORTH) ELEVATION  
3/16" = 1'-0"

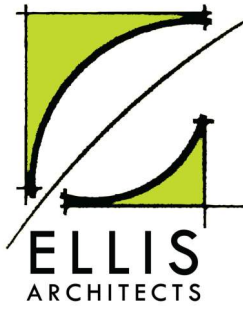


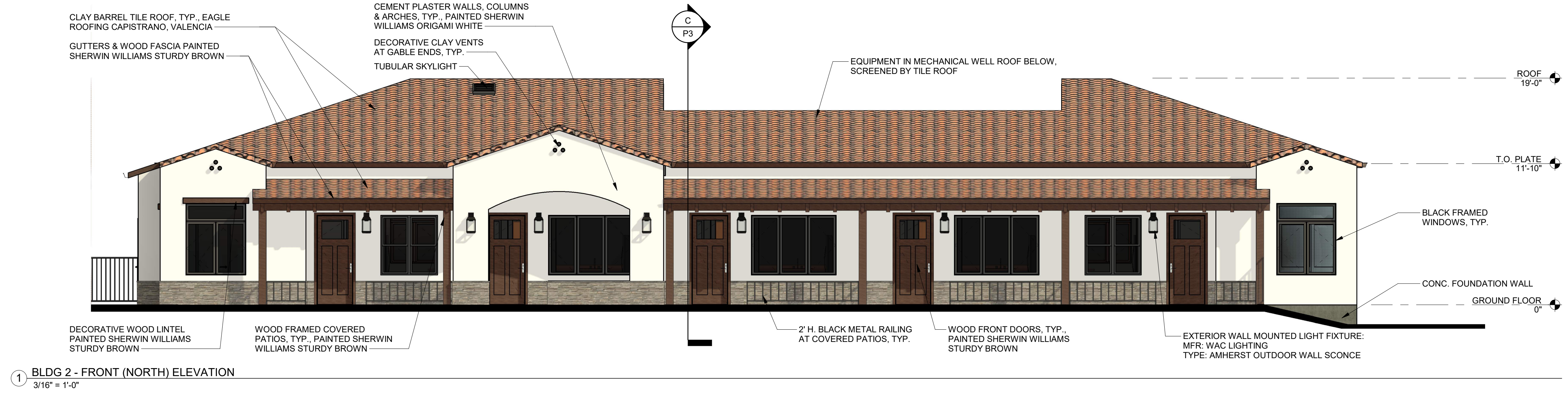
3 BLDG 1 - SIDE (SOUTH) ELEVATION  
3/16" = 1'-0"



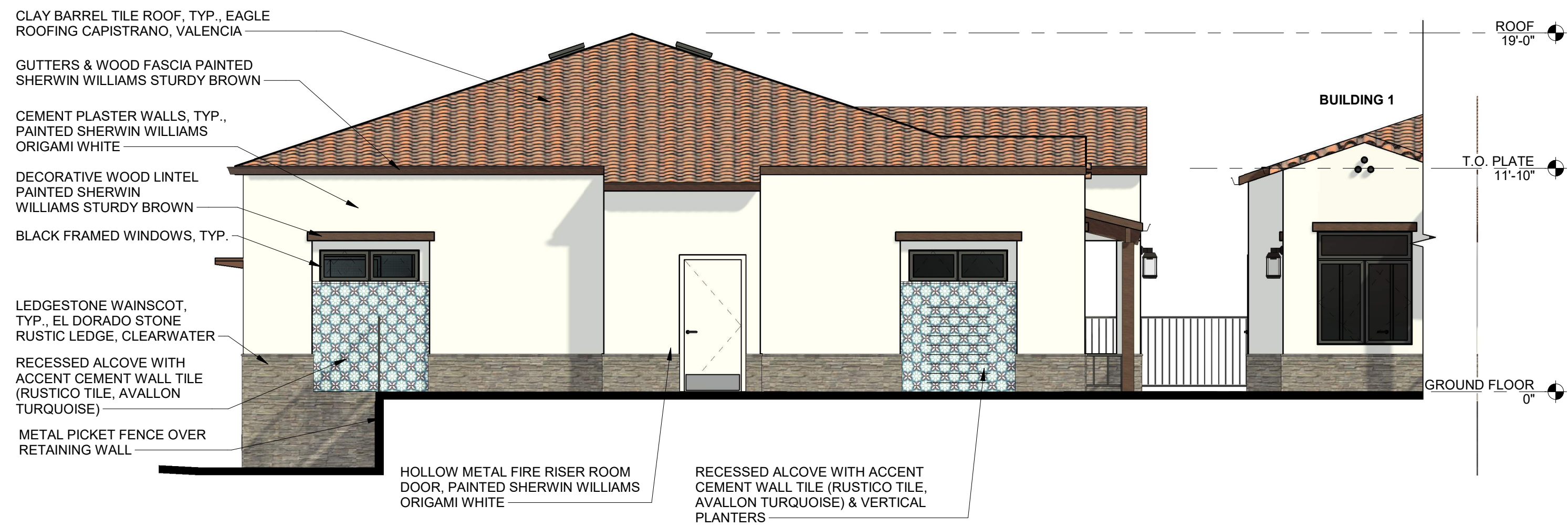
4 BLDG 1 - REAR (WEST) ELEVATION  
3/16" = 1'-0"

EXTERIOR ELEVATIONS - BUILDING 1

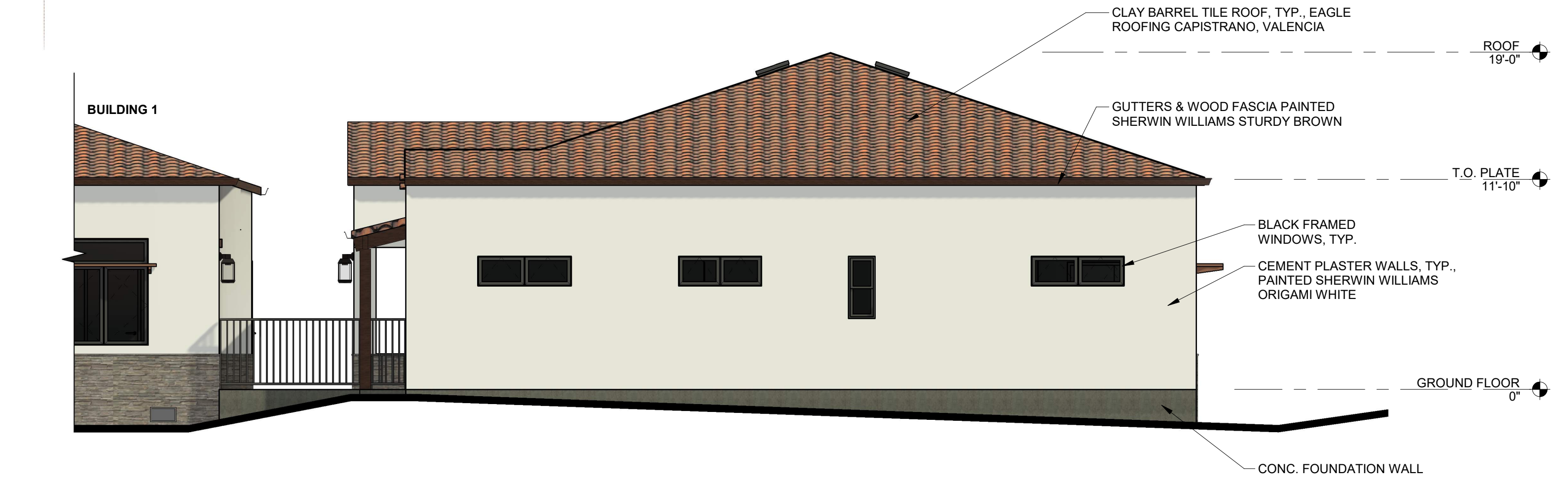
 <p>4132 C STREET SACRAMENTO, CA 95819 916.440.6765 ellis-architects.com</p>	<p><b>INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE</b></p> <p>707 SUNRISE AVE ROSEVILLE, CALIFORNIA 95661</p> <p>APN# 470-010-050-000</p>	<p>OWNER: <b>DINAPOLI CAPITAL PARTNERS</b></p> <p>3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA</p>	<p>02.20.26</p> <p>SHEET NO.</p> <p><b>P5</b></p>
	<p>0' 1' 4' 10'</p>		



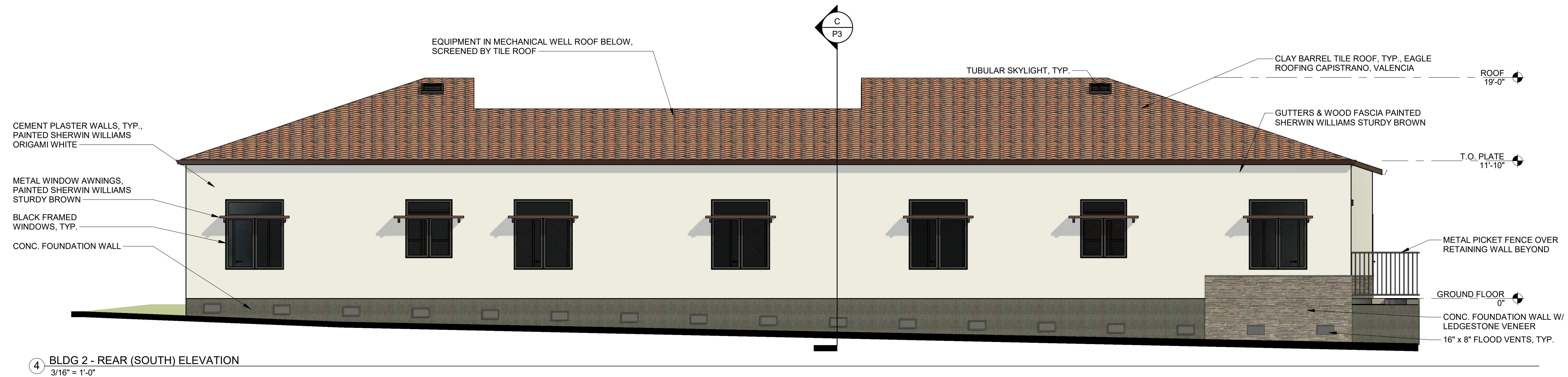
1 BLDG 2 - FRONT (NORTH) ELEVATION  
3/16" = 1'-0"



2 BLDG 2 - SIDE (EAST) ELEVATION  
3/16" = 1'-0"



3 BLDG 2 - SIDE (WEST) ELEVATION  
3/16" = 1'-0"



4 BLDG 2 - REAR (SOUTH) ELEVATION  
3/16" = 1'-0"

EXTERIOR ELEVATIONS - BUILDING 2



**INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE**  
707 SUNRISE AVE  
ROSEVILLE, CALIFORNIA 95661  
APN# 470-010-050-000

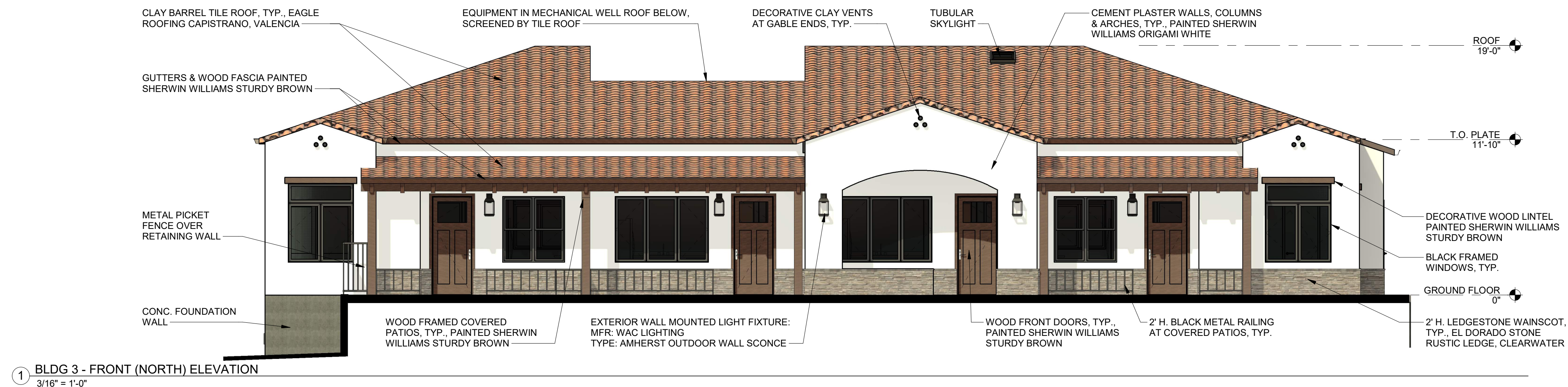
OWNER:  
**DINAPOLI CAPITAL PARTNERS**  
3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA

0' 1' 4' 10'

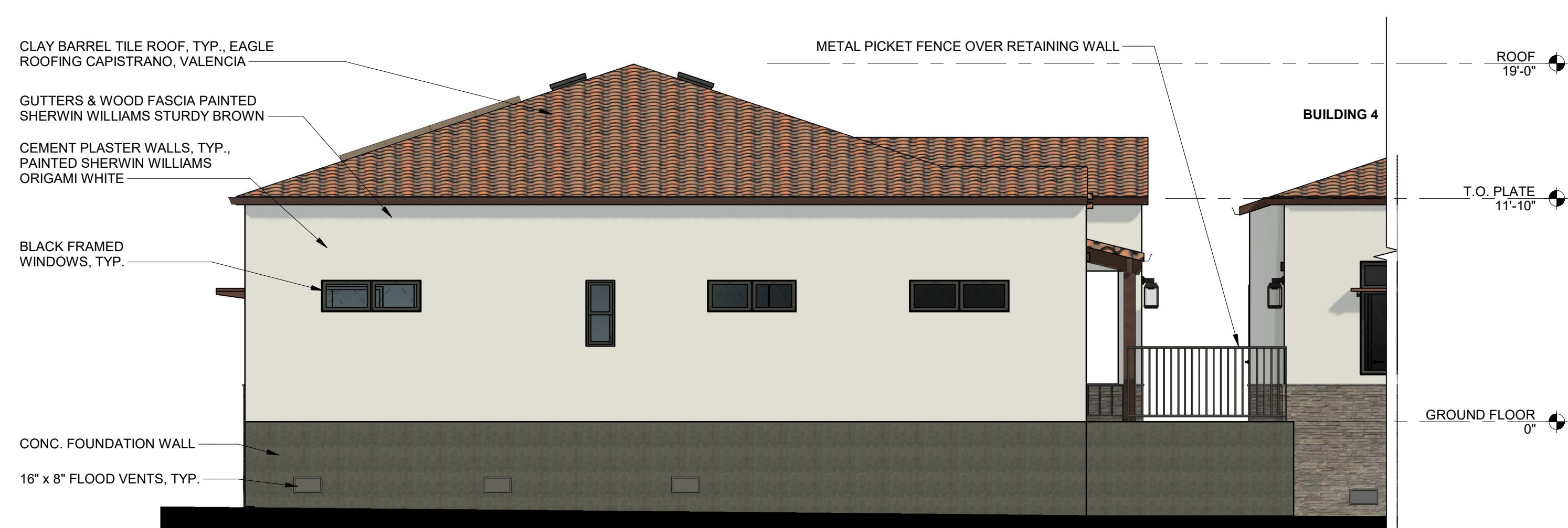
02.20.26

SHEET NO.

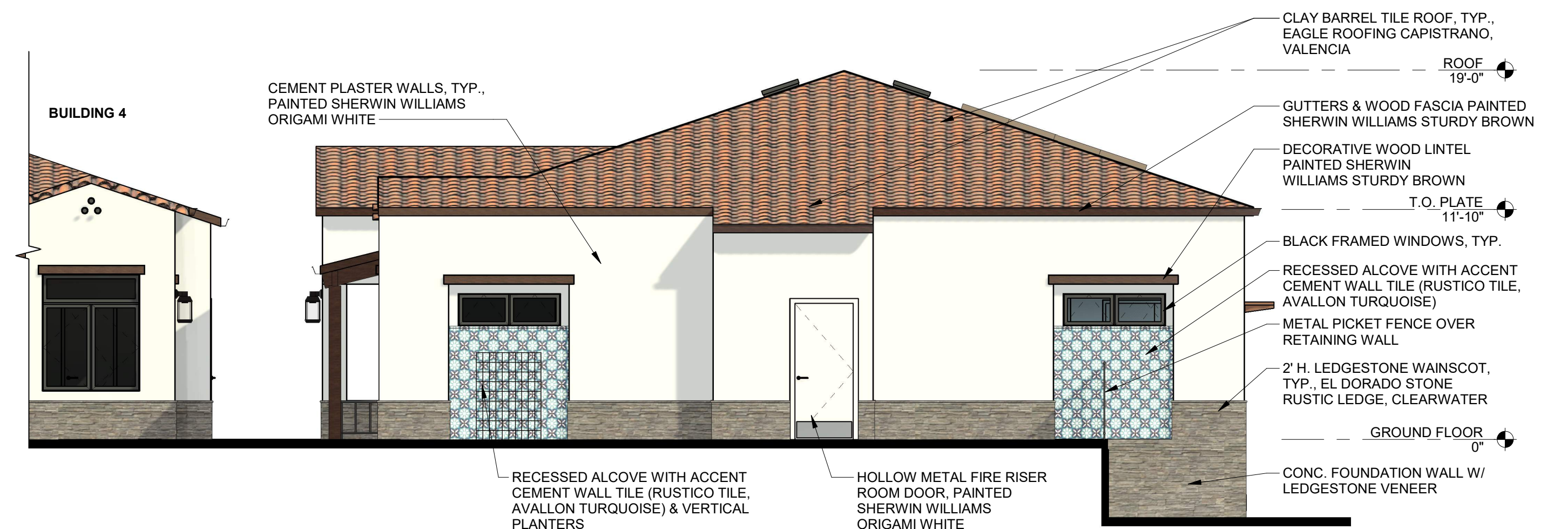
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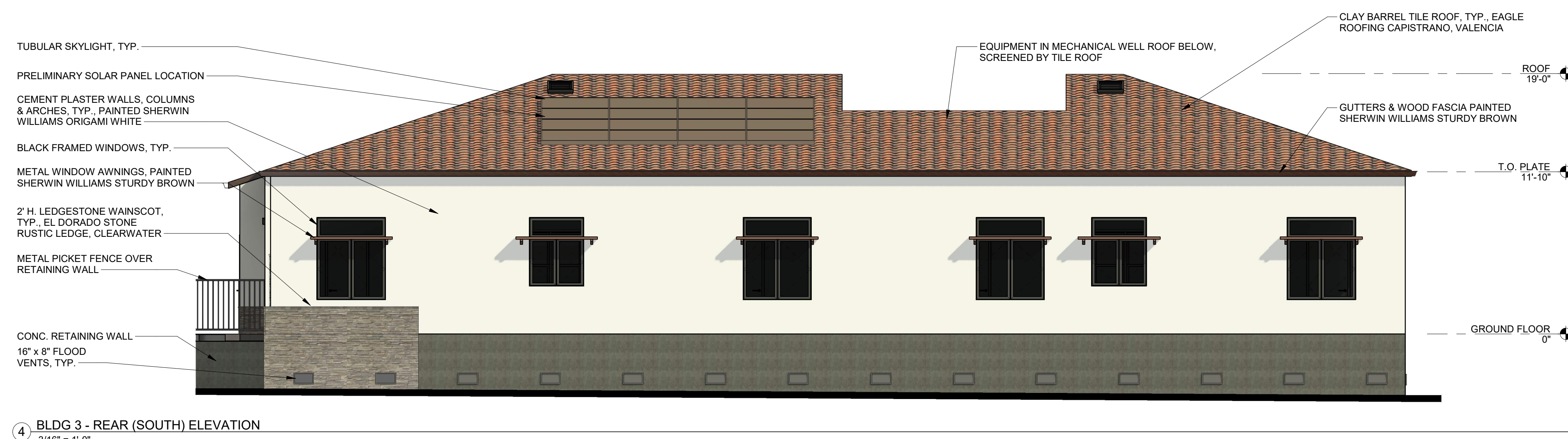
1 BLDG 3 - FRONT (NORTH) ELEVATION  
3/16" = 1'-0"



2 BLDG 3 - SIDE (EAST) ELEVATION  
3/16" = 1'-0"



3 BLDG 3 - SIDE (WEST) ELEVATION  
3/16" = 1'-0"



4 BLDG 3 - REAR (SOUTH) ELEVATION  
3/16" = 1'-0"

EXTERIOR ELEVATIONS - BUILDING 3



**INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE**

707 SUNRISE AVE  
ROSEVILLE, CALIFORNIA 95661

APN# 470-010-050-000

OWNER:

**DINAPOLI CAPITAL PARTNERS**

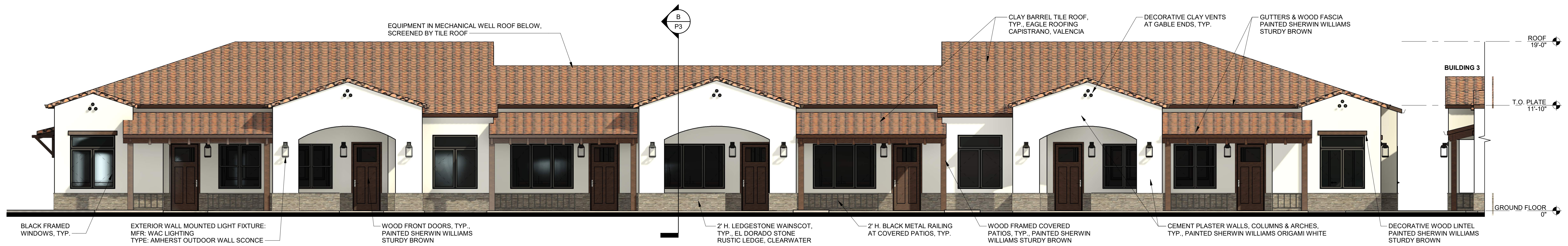
3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA

0' 1' 4' 10'

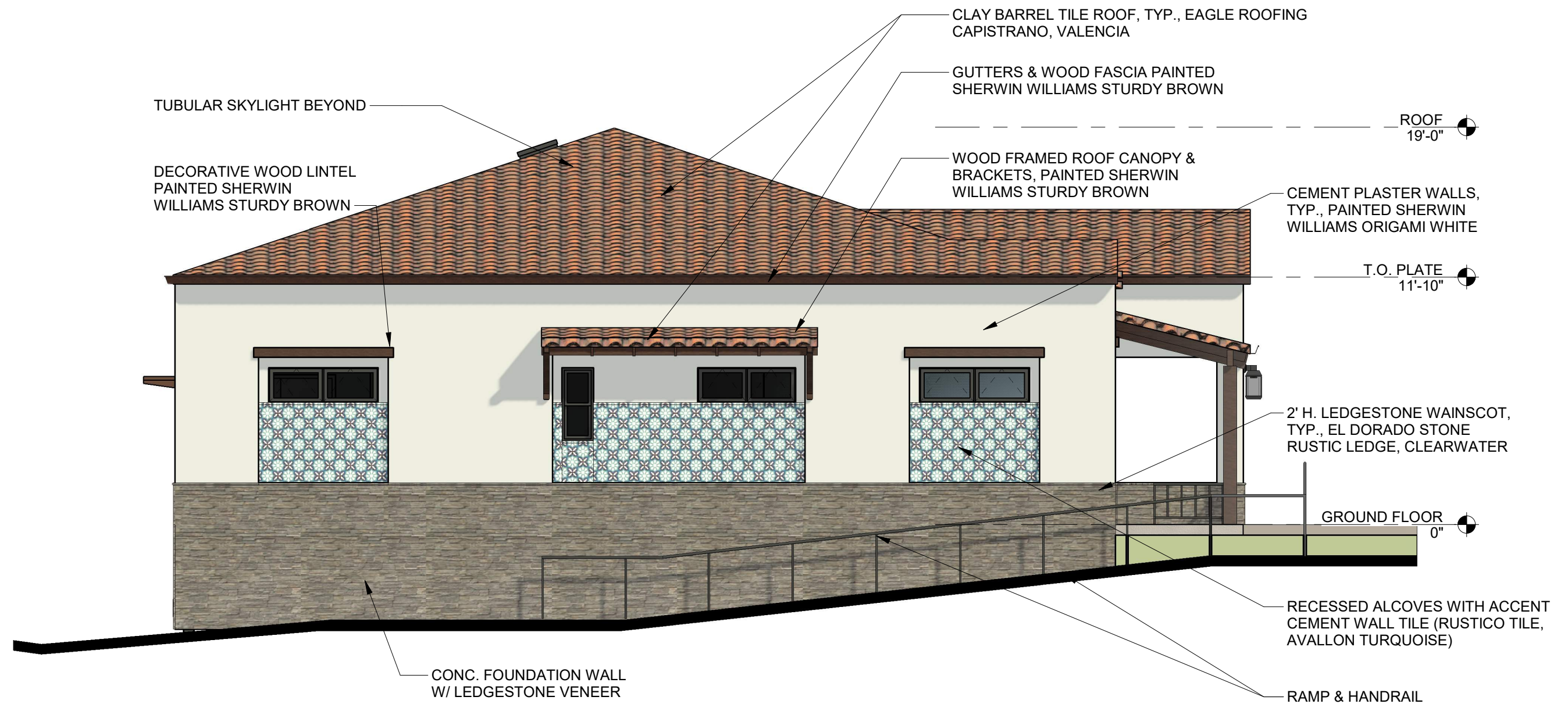
02.20.26

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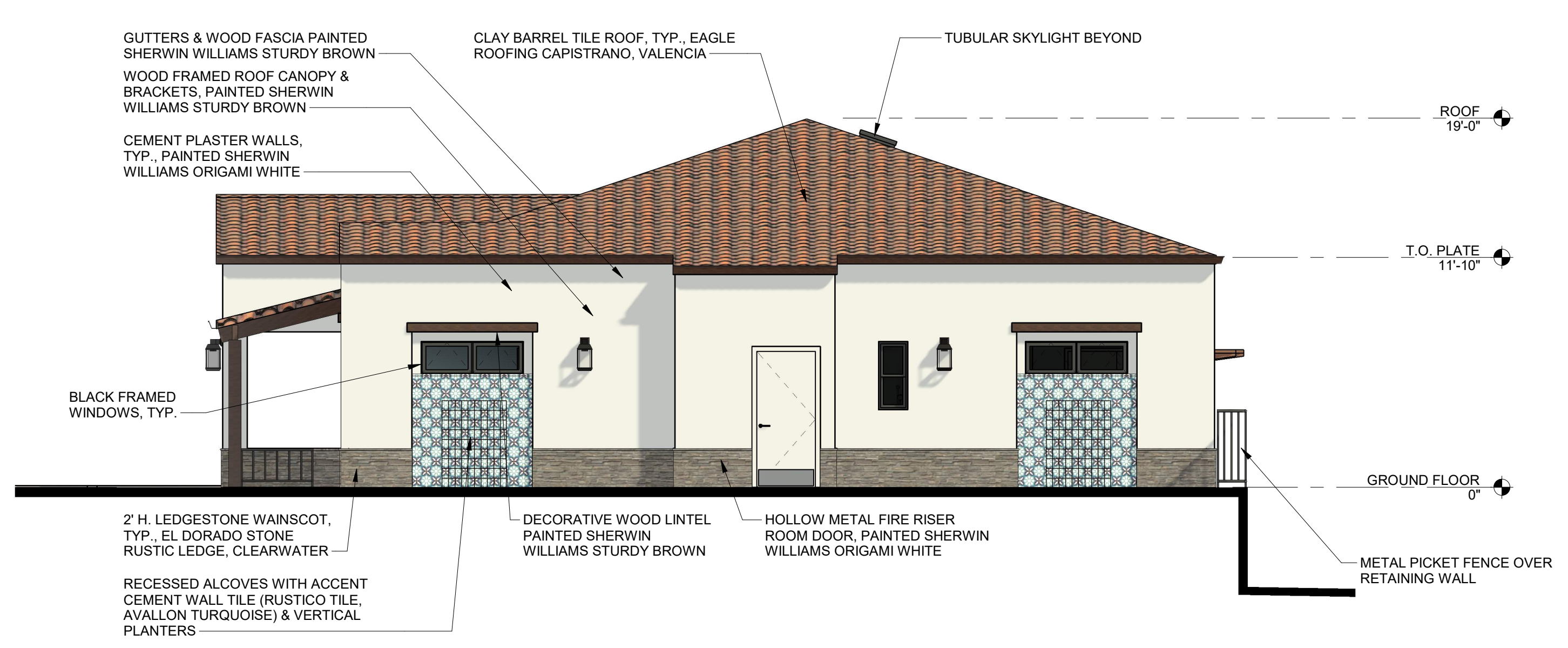
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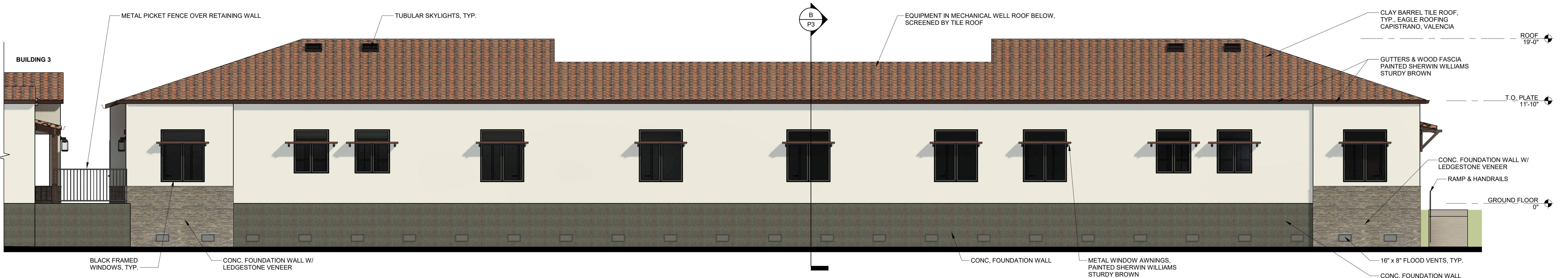
1 BLDG 4 - FRONT (WEST) ELEVATION  
3/16" = 1'-0"



2 BLDG 4 - SIDE (NORTH) ELEVATION  
3/16" = 1'-0"




3 BLDG 4 - SIDE (SOUTH) ELEVATION  
3/16" = 1'-0"



4 BLDG 4 - REAR (EAST) ELEVATION  
3/16" = 1'-0"


EXTERIOR ELEVATIONS - BUILDING 4

 <p>4132 C STREET SACRAMENTO, CA 95819 916.440.6765 ellis-architects.com</p>	<p><b>INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE</b></p> <p>707 SUNRISE AVE ROSEVILLE, CALIFORNIA 95661</p> <p>APN# 470-010-050-000</p>	<p>OWNER: <b>DINAPOLI CAPITAL PARTNERS</b></p> <p>3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA</p>	<p>02.20.26</p> <p>SHEET NO.</p> <p><b>P8</b></p>
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RENDERING


NOTE: RENDERING IS SCHEMATIC IN NATURE AND MAY NOT REPRESENT ALL FINAL PROJECT CONDITIONS CONTAINED IN THE DOCUMENTS

 <p><b>ELLIS ARCHITECTS</b> 4132 C STREET SACRAMENTO, CA 95819 916.440.6765 ellis-architects.com</p>	<p><b>INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE</b></p> <p>707 SUNRISE AVE ROSEVILLE, CALIFORNIA 95661</p> <p>APN# 470-010-050-000</p>	<p>OWNER: <b>DINAPOLI CAPITAL PARTNERS</b></p> <p>3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA</p>			02.20.26
					SHEET NO.



RENDERING

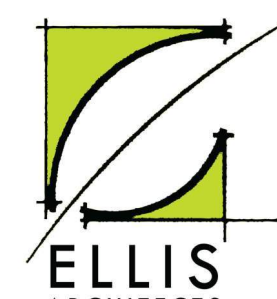
NOTE: RENDERING IS SCHEMATIC IN NATURE AND MAY NOT REPRESENT ALL FINAL PROJECT CONDITIONS CONTAINED IN THE DOCUMENTS

 <p>4132 C STREET SACRAMENTO, CA 95819 916.440.6765 ellis-architects.com</p>	<p><b>INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE</b></p> <p>707 SUNRISE AVE ROSEVILLE, CALIFORNIA 95661</p> <p>APN# 470-010-050-000</p>	<p>OWNER: <b>DINAPOLI CAPITAL PARTNERS</b></p> <p>3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA</p>		<p>02.20.26</p> <p>SHEET NO.</p> <p><b>P10</b></p>
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RENDERING


NOTE: RENDERING IS SCHEMATIC IN NATURE AND MAY NOT REPRESENT ALL FINAL PROJECT CONDITIONS CONTAINED IN THE DOCUMENTS

 <p>ELLIS ARCHITECTS 4132 C STREET SACRAMENTO, CA 95819 916.440.6765 ellis-architects.com</p>	<p><b>INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE</b></p> <p>707 SUNRISE AVE ROSEVILLE, CALIFORNIA 95661</p> <p>APN# 470-010-050-000</p>	<p>OWNER: <b>DINAPOLI CAPITAL PARTNERS</b></p> <p>3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA</p>		<p>02.20.26</p> <p>SHEET NO.</p> <p><b>P11</b></p>
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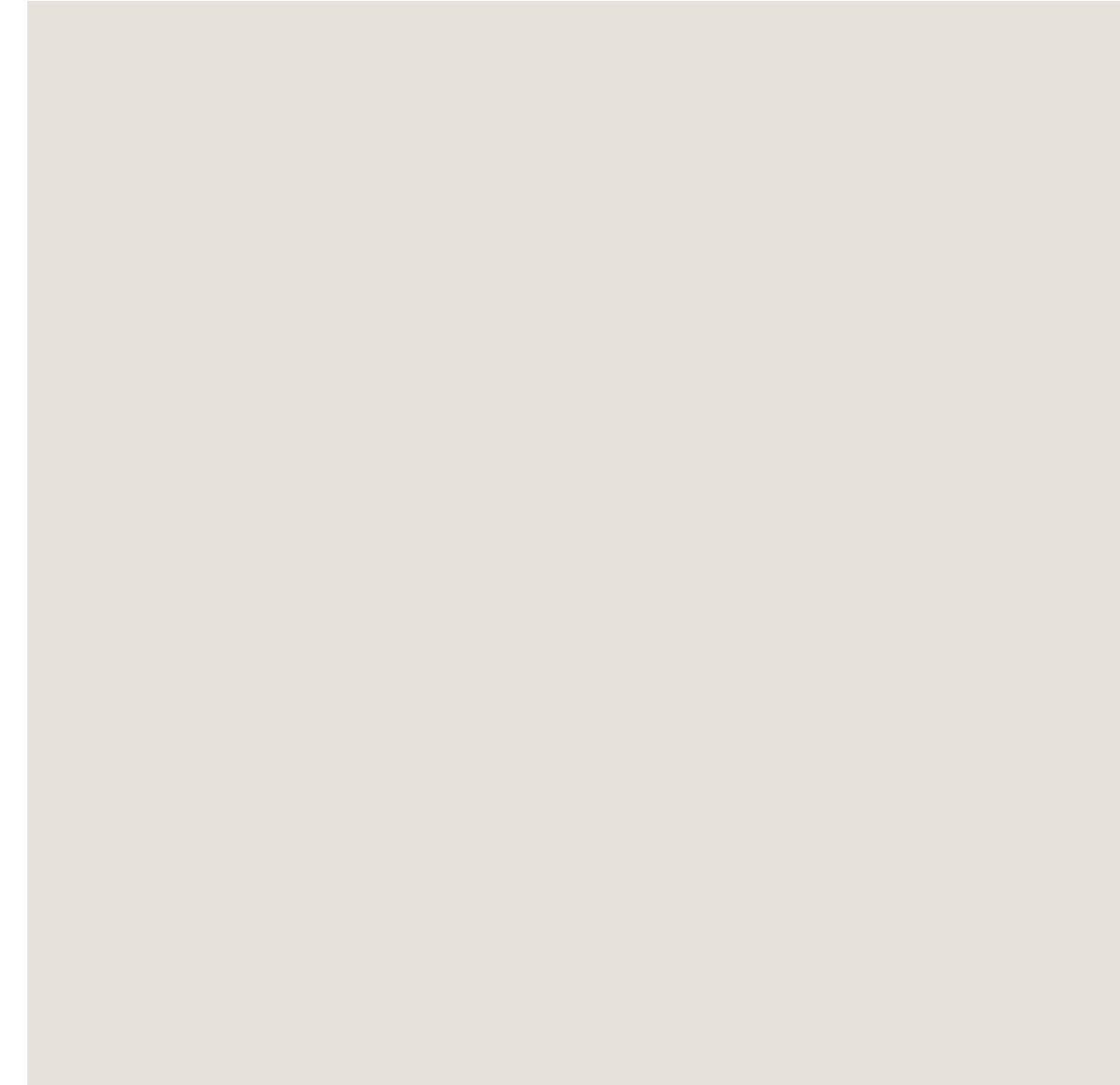
RENDERING

NOTE: RENDERING IS SCHEMATIC IN NATURE AND MAY NOT REPRESENT ALL FINAL PROJECT CONDITIONS CONTAINED IN THE DOCUMENTS

 <p>ELLIS ARCHITECTS 4132 C STREET SACRAMENTO, CA 95819 916.440.6765 ellis-architects.com</p>	<p><b>INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE</b></p> <p>707 SUNRISE AVE ROSEVILLE, CALIFORNIA 95661</p> <p>APN# 470-010-050-000</p>	<p>OWNER: <b>DINAPOLI CAPITAL PARTNERS</b></p> <p>3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA</p>		<p>02.20.26</p> <p>SHEET NO.</p> <p><b>P12</b></p>
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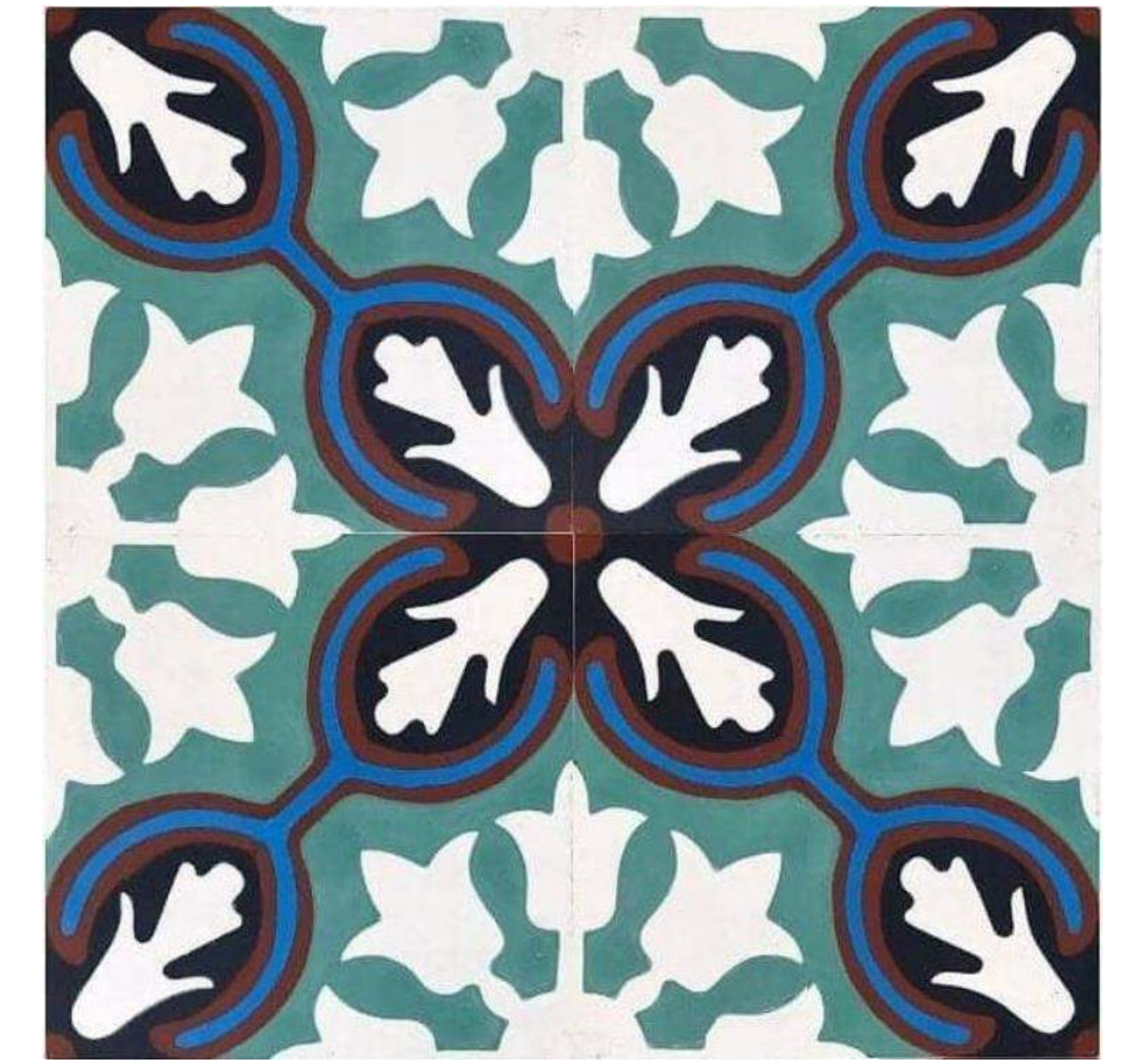
**CLAY BARREL ROOF TILE**  
 MANUFACTURER: EAGLE ROOFING  
 COLOR: CAPISTRANO TILE, VALENCIA



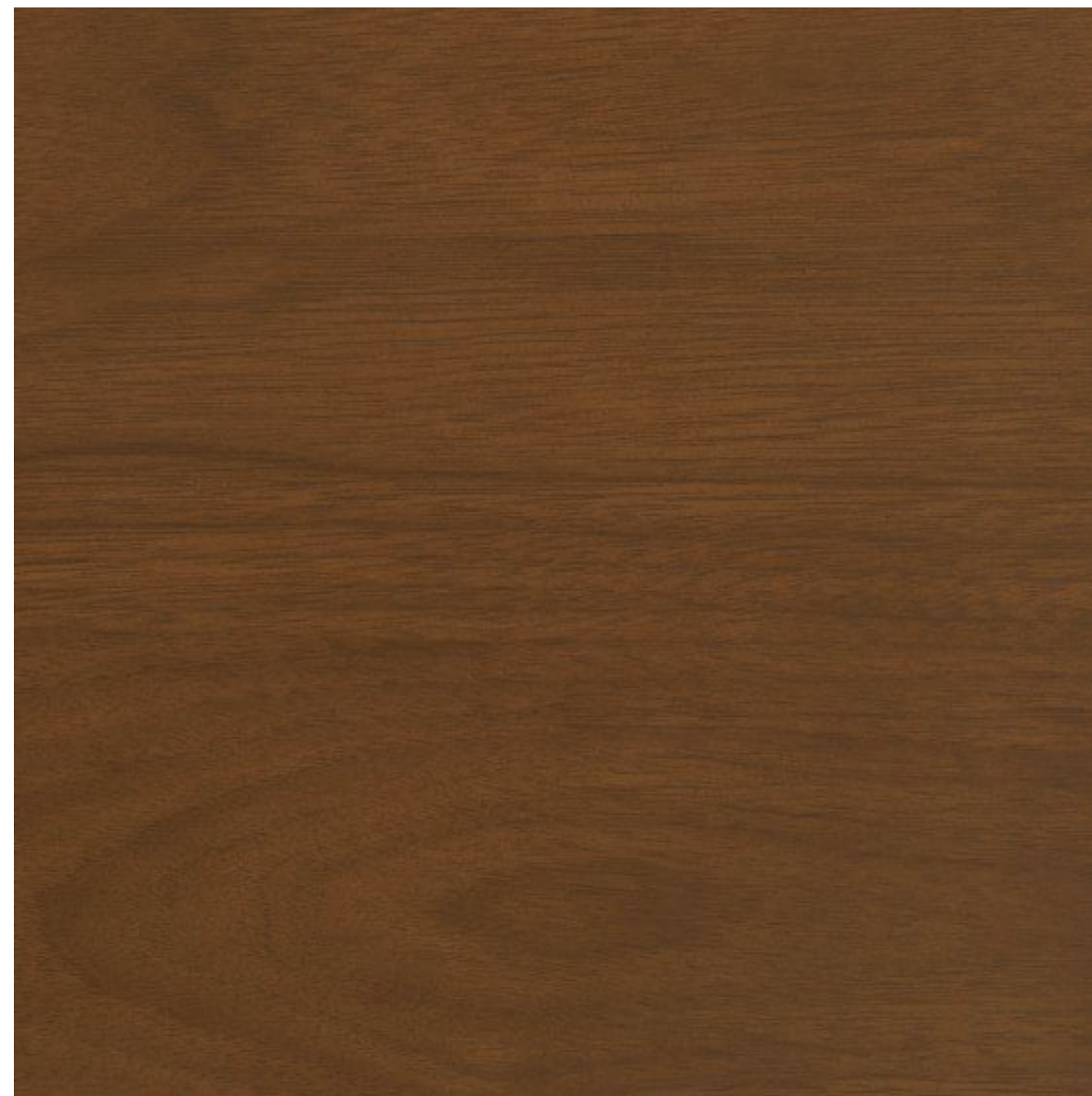
**CEMENT PLASTER BODY**  
 MANUFACTURER: SHERWIN WILLIAMS  
 COLOR: ORIGAMI WHITE, SW7636



**LEDGESTONE VENEER WAINSCOT**  
 MANUFACTURER: EL DORADO STONE  
 COLOR: RUSTIC LEDGE, CLEARWATER



**ACCENT CEMENT WALL TILE**  
 MANUFACTURER: RUSTICO TILE  
 COLOR: AVALLON TURQUOISE



**PAINTED WOOD DOORS, FRAMING & LINTELS**  
 MANUFACTURER: SHERWIN WILLIAMS  
 COLOR: STURDY BROWN, SW6097



**PAINTED METAL WINDOW AWNINGS & GUTTERS**  
 MANUFACTURER: SHERWIN WILLIAMS  
 COLOR: STURDY BROWN, SW6097




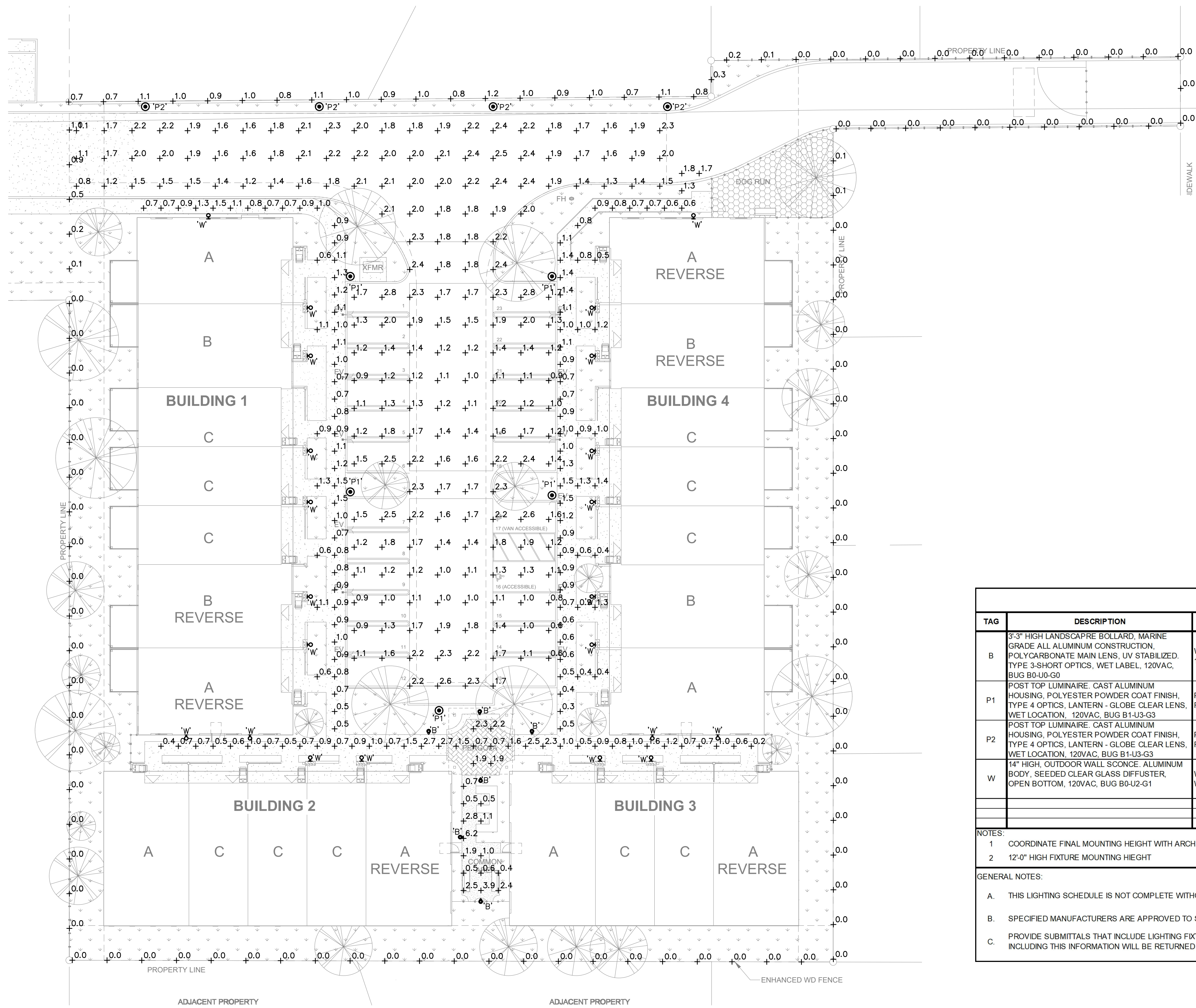
**WINDOWS & RAILING**  
 COLOR: BLACK



**EXTERIOR WALL LIGHT**  
 MANUFACTURER: WAC LIGHTING  
 TYPE: AMHERST WALL SCONCE  
 COLOR: BLACK

COLORS & MATERIALS BOARD

 <p><b>ELLIS ARCHITECTS</b>          4132 C STREET          SACRAMENTO, CA 95819          916.440.6765          ellis-architects.com</p>	<p><b>INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE</b>          707 SUNRISE AVE          ROSEVILLE, CALIFORNIA 95661          APN# 470-010-050-000</p>	<p>OWNER:  <b>DINAPOLI CAPITAL PARTNERS</b>          3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA</p>			02.20.26
					SHEET NO. <b>P13</b>



SITE PLAN LEGEND	
○	LIGHTING BOLLARD
⊙	POST-TOP LIGHTING POLE
♀	WALL SCONCE
+1.2	FOOTCANDLE VALUE

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY BOUNDRY	+	0.2 fc	1.2 fc	0.0 fc	N/A	N/A
SIDEWALK	+	1.0 fc	2.7 fc	0.2 fc	13.5:1	5.0:1
SIDEWALK - SOUTH	+	1.8 fc	6.2 fc	0.4 fc	15.5:1	4.5:1
DRIVEWAY AND PARKING	+	1.7 fc	2.8 fc	0.6 fc	4.7:1	2.8:1

LIGHTING FIXTURE SCHEDULE								
TAG	DESCRIPTION	MANUFACTURER	LAMPS	CCT	WATTS	COLOR	MOUNTING	NOTES
B	3'-3" HIGH LANDSCAPE BOLLARD, MARINE GRADE ALL ALUMINUM CONSTRUCTION, POLYCARBONATE MAIN LENS, UV STABILIZED, TYPE 3-SHORT OPTICS, WET LABEL, 120VAC, BUG B0-U0-G0	WE-EF LIGHTING 115-9790	LED	3K	13.5	BLACK	GROUND	50% DIMMED
P1	POST TOP LUMINAIRE: CAST ALUMINUM HOUSING, POLYESTER POWDER COAT FINISH, TYPE 4 OPTICS, LANTERN - GLOBE CLEAR LENS, WET LOCATION, 120VAC, BUG B1-U3-G3	PENCO RADIANT40W3K	LED	3K	40.8	BLACK	POLE	2
P2	POST TOP LUMINAIRE: CAST ALUMINUM HOUSING, POLYESTER POWDER COAT FINISH, TYPE 4 OPTICS, LANTERN - GLOBE CLEAR LENS, WET LOCATION, 120VAC, BUG B1-U3-G3	PENCO RADIANT30W3K	LED	3K	30.6	BLACK	POLE	2
W	14" HIGH, OUTDOOR WALL SCONCE, ALUMINUM BODY, SEEDED CLEAR GLASS DIFFUSER, OPEN BOTTOM, 120VAC, BUG B0-U2-G1	WAC WS-W17214	LED	3K	16.4	BLACK	SURFACE	1

NOTES:  
 1 COORDINATE FINAL MOUNTING HEIGHT WITH ARCHITECT  
 2 12'-0" HIGH FIXTURE MOUNTING HEIGHT

GENERAL NOTES:  
 A. THIS LIGHTING SCHEDULE IS NOT COMPLETE WITHOUT A COPY OF THE PROJECT MANUAL CONTAINING ELECTRICAL SPECIFICATIONS.  
 B. SPECIFIED MANUFACTURERS ARE APPROVED TO SUBMIT BID. INCLUSION DOES NOT RELIEVE MANUFACTURER FROM SUPPLYING PRODUCT AS DESCRIBED.  
 C. PROVIDE SUBMITTALS THAT INCLUDE LIGHTING FIXTURE, LAMP, AND DRIVER INFORMATION FOR EACH FIXTURE, WITH APPLICABLE OPTIONS CLEARLY CHECKED OR HIGHLIGHTED. SUBMITTALS NOT INCLUDING THIS INFORMATION WILL BE RETURNED AS REJECTED BY THE ENGINEER OF RECORD.

1 LIGHTING & PHOTOMETRIC SITE PLAN  
 SCALE: 1/16"=1'-0"  
 0 8' 16' 32'



**INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE**  
 707 SUNRISE AVE  
 ROSEVILLE, CALIFORNIA 95661  
 APN# 470-010-050-000

OWNER:  
**DINAPOLI CAPITAL PARTNERS**  
 3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA



09.10.2025  
 SHEET NO.  
**E1.0**

STATE OF CALIFORNIA  
**Outdoor Lighting**  
CALIFORNIA ENERGY COMMISSION

**CERTIFICATE OF COMPLIANCE** NRCC-LTO-E  
Project Name: Independent Living Cottages at The Terraces of Roseville Report Page: (Page 3 of 7)  
Date Prepared: 4/25/2025

**F. OUTDOOR LIGHTING FIXTURE SCHEDULE**  
For new or altered lighting systems demonstrating compliance with 140.7 / 170.2(e)6 all new luminaires being installed and any existing luminaires remaining or being moved within the spaces covered by the permit application are included in the Table below. For altered lighting systems using the Existing Power method per 141.0(b)2L only new luminaires being installed and replacement luminaires being installed as part of the project scope are included (i.e., existing luminaires remaining or existing luminaires being moved are not included). Outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit are included in Table H, and are not included here. All other multifamily outdoor lighting is included here.

**Designed Wattage:**

01	02	03	04	05	06	07	08	09	10
Name or Item Tag	Complete Luminaire Description	Watts per luminaire <sup>1, 2</sup>	How is Wattage determined	Total Number Luminaires <sup>2</sup>	Luminaire Status <sup>3</sup>	Excluded per 140.7(a) / 170.2(e)6A	Design Watts	Cutoff Req. > 6,200 initial lumen output 130.2(b) / 160.5(c) <sup>1, 4</sup>	Field Inspector
B	B	<input type="checkbox"/> Linear	13.5	Mfr. Spec	6	New	81	NA: < 6200 lumens	<input type="checkbox"/> Pass <input type="checkbox"/> Fail
P1	P1	<input type="checkbox"/> Linear	40.8	Mfr. Spec	5	New	204	NA: < 6200 lumens	<input type="checkbox"/> Pass <input type="checkbox"/> Fail
P2	P2	<input type="checkbox"/> Linear	30.6	Mfr. Spec	4	New	122.4	NA: < 6200 lumens	<input type="checkbox"/> Pass <input type="checkbox"/> Fail
W	W	<input type="checkbox"/> Linear	16.4	Mfr. Spec	22	New	360.8	NA: < 6200 lumens	<input type="checkbox"/> Pass <input type="checkbox"/> Fail
<b>Total Design Watts:</b>								768	

<sup>1</sup> NOTES: Selections with a \* require a note in the space below explaining how compliance is achieved.  
EX: Luminaire is lighting a statue; EXCEPTION 2 to 130.2(b)  
<sup>2</sup> FOOTNOTES: Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per 130.0(c) / 160.5(b)  
<sup>3</sup> For linear luminaires, wattage should be indicated as W/lf instead of Watts/luminaire. Total linear feet should be indicated in column 05 instead of number of luminaires.  
<sup>4</sup> Select "New" for new luminaires in a new outdoor lighting project, or for added luminaires in an alteration. Select "Altered" for replacement luminaires in an alteration. Select "Existing to Remain" for existing luminaires within the project scope that are not being altered and are remaining. Select "Existing Reinstalled" for existing luminaires which are being removed and reinstalled as part of the project scope.  
<sup>5</sup> Compliance with mandatory shielding requirements is required for luminaires with initial lumen output >= 6,200 unless exempted by 130.2(b) / 160.5(c)

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CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Compliance ID: EnergyPro-30211-0425-2266 Schema Version: rev 20220101 Report Generated: 2025-04-25 09:32:30

STATE OF CALIFORNIA  
**Outdoor Lighting**  
CALIFORNIA ENERGY COMMISSION

**CERTIFICATE OF COMPLIANCE** NRCC-LTO-E  
Project Name: Independent Living Cottages at The Terraces of Roseville Report Page: (Page 2 of 7)  
Date Prepared: 4/25/2025

**C. COMPLIANCE RESULTS**  
Results in this table are automatically calculated from data input and calculations in Tables F through N. Note: If any cell on this table says "COMPLIES with Exceptional Conditions" refer to Table D. Exceptional Conditions for guidance or see applicable Table referenced below.

Calculations of Total Allowed Lighting Power (Watts) 140.7 / 170.2(e)6 or 141.0(b)2L / 180.2(b)4Bv										Compliance Results					
01	02	03	04	05	06	07	08	09							
General Hardscape Allowance 140.7(d)1 / 170.2(e)6 (See Table I)	+	Per Application 140.7(d)2 / 170.2(e)6 (See Table J)	+	Sales Frontage 140.7(d)2 (See Table K)	+	Ornamental 140.7(d)2 / 170.2(e)6 (See Table L)	+	Per Specific Area 140.7(d)2 / 170.2(e)6 (See Table M)	OR	Existing Power Allowance 141.0(b)2L / 180.2(b)4Bv (See Table N)	=	Total Allowed (Watts)	≥	Total Actual (Watts)	07 must be >= 08
800	+	---	+	---	+	---	+	---	OR	---	=	800	≥	768	COMPLIES
Shielding Compliance (See Table G for Details)												N/A			
Controls Compliance (See Table H for Details)												COMPLIES			

**D. EXCEPTIONAL CONDITIONS**  
This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

**E. ADDITIONAL REMARKS**  
This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

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STATE OF CALIFORNIA  
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**CERTIFICATE OF COMPLIANCE** NRCC-LTO-E  
Project Name: Independent Living Cottages at The Terraces of Roseville Report Page: (Page 1 of 7)  
Date Prepared: 4/25/2025

**A. GENERAL INFORMATION**

01 Project Location (city)	Roseville	04 Total Illuminated Hardscape Area (ft <sup>2</sup> )	20488
02 Climate Zone	11		
03 Outdoor Lighting Zone per Title 24 Part 1 10.114 or as designated by Authority Having Jurisdiction (AHJ):			
<input type="checkbox"/> LZ-0: Very Low - Undeveloped Parkland	<input checked="" type="checkbox"/> LZ-2: Moderate - Urban Clusters	<input type="checkbox"/> LZ-4: High - Must be reviewed by CA Energy Commission for Approval	
<input type="checkbox"/> LZ-1: Low - Rural Areas	<input type="checkbox"/> LZ-3: Moderately High - Urban Areas		
05 Occupancy Types within Project			
• All Other Occupancies			

**B. PROJECT SCOPE**  
This table includes outdoor lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in 140.7 / 170.2(e)6 or 141.0(b)2L / 180.2(b)4Bv for alterations.

**My Project Consists of:**

01	02	
<input checked="" type="checkbox"/> New Lighting System	Must Comply with Allowances from 140.7 / 170.2(e)6	
<input type="checkbox"/> Altered Lighting System	Is your alteration increasing the connected lighting load (Watts)?	
	<input checked="" type="radio"/> Yes <input type="radio"/> No	
03	04	05
% of Existing Luminaires Being Altered <sup>1</sup>	Sum Total of Luminaires Being Added or Altered	Calculation Method
<input type="checkbox"/> < 10% <input type="checkbox"/> >= 10% and < 50% <input type="checkbox"/> >= 50%		

**Please proceed to Table F. Outdoor Lighting Fixture Schedule to define the project's luminaires.**  
<sup>1</sup> FOOTNOTES: % of Existing Luminaires Being Altered = (Sum Total of Luminaires Being Added or Altered / Existing Luminaires within the Scope of the Permit Application) x 100.

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STATE OF CALIFORNIA  
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CALIFORNIA ENERGY COMMISSION

**CERTIFICATE OF COMPLIANCE** NRCC-LTO-E  
Project Name: Independent Living Cottages at The Terraces of Roseville Report Page: (Page 6 of 7)  
Date Prepared: 4/25/2025

**M. LIGHTING ALLOWANCE: PER SPECIFIC AREA**  
This section does not apply to this project.

**N. EXISTING CONDITIONS POWER ALLOWANCE (alterations only)**  
This section does not apply to this project.

**O. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION**  
Selections have been made based on information provided in this document. If any selection has been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online

Form/Title	
NRCL-LTO-E - Must be submitted for all buildings	

**P. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE**  
Selections have been made based on information provided in this document. If any selection has been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: <http://www.energy.ca.gov/title24/attcp/providers.html>

Form/Title	Systems/Spaces To Be Field Verified
NRCA-LTO-02-A - Must be submitted for all outdoor lighting controls except for alterations where controls are added to <= 20 luminaires.	Walkway; Parking Area;

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STATE OF CALIFORNIA  
**Outdoor Lighting**  
CALIFORNIA ENERGY COMMISSION

**CERTIFICATE OF COMPLIANCE** NRCC-LTO-E  
Project Name: Independent Living Cottages at The Terraces of Roseville Report Page: (Page 5 of 7)  
Date Prepared: 4/25/2025

**I. LIGHTING POWER ALLOWANCE (per 140.7 / 170.2(e))**  
This table includes areas using allowance calculations per 140.7 / 170.2(e). General Hardscape Allowance is per Table 140.7-A/Table 170.2-R while "Use it or lose it" Allowances are per Table 140.7-B / Table 170.2-S. Indicate which allowances are being used to expand sections for user input. Luminaires that qualify for one of the "Use it or lose it" allowances shall not qualify for another "Use it or lose it" allowance. Outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit are included in Table H, and are not included here. All other multifamily outdoor lighting is included here.

01 "Use it or lose it" Allowance (select all that apply) (select all that apply)									
<input checked="" type="checkbox"/> General Hardscape Allowance Table I (below)	<input type="checkbox"/> Per Application Table J	<input type="checkbox"/> Sales Frontage Table K	<input type="checkbox"/> Ornamental Table L	<input type="checkbox"/> Per Specific Area Table M					
Calculated General Hardscape Lighting Power Allowance per Table 140.7-A for Nonresidential & Hotel/Motel									
02	03	04	05	06	07	08	09		
Area Description	Area Wattage Allowance (AWA) Illuminated Area (ft <sup>2</sup> )	Allowed Density (W/ft <sup>2</sup> )	Area Allowance (Watts)	Perimeter Length (lf)	Allowed Density (W/lf)	Linear Allowance (Watts)	Total General AWA + LWA (Watts)		
Walkway	11658	0.019	221.5	996	0.2	149.4	371		
Parking Area	8830	0.019	167.8	406	0.2	60.9	229		
<b>Initial Wattage Allowance for Entire Site (Watts):</b>							200		
<b>Instances of Initial Wattage Allowance (LZ 0 only)<sup>1</sup></b>									
<b>Total General Hardscape Allowance (Watts):</b>							800		

**J. LIGHTING ALLOWANCE: PER APPLICATION**  
This section does not apply to this project.

**K. LIGHTING ALLOWANCE: SALES FRONTAGE**  
This section does not apply to this project.

**L. LIGHTING ALLOWANCE: ORNAMENTAL**  
This section does not apply to this project.

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STATE OF CALIFORNIA  
**Outdoor Lighting**  
CALIFORNIA ENERGY COMMISSION

**CERTIFICATE OF COMPLIANCE** NRCC-LTO-E  
Project Name: Independent Living Cottages at The Terraces of Roseville Report Page: (Page 4 of 7)  
Date Prepared: 4/25/2025

**G. SHIELDING REQUIREMENTS (BUG)**  
This section does not apply to this project.


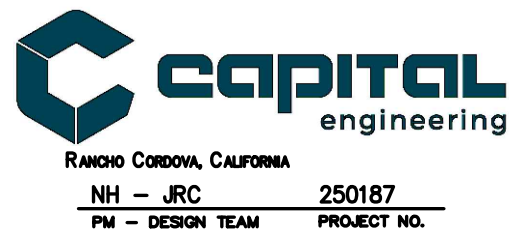

**H. OUTDOOR LIGHTING CONTROLS**  
This table demonstrates compliance with controls requirements for all new or altered luminaires installed as part of the permit application. For alteration projects, luminaires which are existing to remain (ie untouched) and luminaires which are removed and reinstalled (wiring only) do not need to be included in this table even if they are within the spaces covered by the permit application. Outdoor lighting for nonresidential buildings, parking garages and common service areas in multifamily buildings must be documented separately from outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit

**Mandatory Controls for Nonresidential Occupancies, Parking Garages & Common Areas in Multifamily Buildings**

01	02	03	04	05
Area Description	Shut-Off 130.2(c)1 / 160.5(c)	Auto-Schedule 130.2(c)2 / 160.5(c)	Motion Sensor 130.2(c)3 / 160.5(c)	Field Inspector
Walkway	Photocontrol	Provided	Provided	<input type="checkbox"/> Pass <input type="checkbox"/> Fail
Parking Area	Photocontrol	Provided	Provided	<input type="checkbox"/> Pass <input type="checkbox"/> Fail

<sup>1</sup> FOOTNOTE: Text has been abbreviated, please refer to Table 160.5-A to confirm compliance with the specific light source technologies listed.  
<sup>2</sup> Authority having jurisdiction may ask for cut sheets or other documentation to confirm compliance of light source.  
<sup>3</sup> Recessed luminaires marked for use in fire-rated installations, and recessed luminaires installed in non-insulated ceilings are exempted from ii and iii.

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 <p><b>INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE</b> 707 SUNRISE AVE ROSEVILLE, CALIFORNIA 95661 APN# 470-010-050-000</p>	<p>OWNER: <b>DINAPOLI CAPITAL PARTNERS</b> 3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA</p>		 <p>Date Signed: 9/10/25</p>	<p>09.10.2025</p>
				<p>SHEET NO.</p> <p><b>E2.0</b></p>

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<b>CERTIFICATE OF COMPLIANCE</b>		<b>NRCC-LTO-E</b>
<b>Project Name:</b> Independent Living Cottages at The Terraces of Roseville	<b>Report Page:</b>	<b>(Page 7 of 7)</b>
<b>Project Address:</b> 707 Sunrise Ave,	<b>Date Prepared:</b>	4/25/2025

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**

**I certify that this Certificate of Compliance documentation is accurate and complete.**

Documentation Author Name: Jefferson Guide	Documentation Author Signature: 
Company: Capital Engineering Consultants Inc.	Signature Date: 2025-04-25
Address: 11020 Sun Center Drive, Suite 100	CEA/HERS Certification Identification (if applicable):
City/State/Zip: Rancho Cordova CA 95670	Phone: (916) 851-3500

**RESPONSIBLE PERSON'S DECLARATION STATEMENT**

- I certify the following under penalty of perjury, under the laws of the State of California:
1. The information provided on this Certificate of Compliance is true and correct.
  2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
  3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
  4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
  5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Nathan Hearn	Responsible Designer Signature: 
Company: Capital Engineering Consultants Inc.	Date Signed: 2025-04-25
Address: 11020 Sun Center Drive Suite 100	License: E23927
City/State/Zip: Rancho Cordova CA 95670	Phone: 916-851-3568

<p><b>INDEPENDENT LIVING COTTAGES AT THE TERRACES OF ROSEVILLE</b>          707 SUNRISE AVE          ROSEVILLE, CALIFORNIA 95661          APN# 470-010-050-000</p>	<p>OWNER:  <b>DINAPOLI CAPITAL PARTNERS</b>          3021 CITRUS CIRCLE SUITE 130, WALNUT CREEK, CALIFORNIA</p>		<p>Date Signed: 9/10/25</p>	<p>0' 8' 16' 32'</p> <p>09.10.2025</p> <p>SHEET NO.</p> <h1 style="font-size: 48px; margin: 0;">E2.1</h1>
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